



Wheaton Park District

PUBLIC NOTICE

**Meeting - Wheaton Park District Board of Commissioners
Wednesday March 18, 2026 - 5:00 p.m.
City of Wheaton Council Chambers 303 W. Wesley Street Wheaton, Illinois**

March 16, 2026

**Public notice is hereby given that the Board of Park Commissioners of The Wheaton Park
Wednesday March 18, 2026**

The meeting will take place at Wheaton City Hall, 303 W. Wesley, Wheaton, IL.

**Please contact Michael J. Benard, Board Secretary, for further information.
mbenard@wheatonparks.org**

Michael J. Benard
Secretary

The Agenda for the March 18, 2026, Meeting is as Follows:

Persons with disabilities requiring reasonable accommodation to participate in this meeting should contact the park district's ADA Compliance Officer, Michael Benard, at the park district's Administrative Office, 102 E. Wesley Street, Wheaton, IL Monday through Friday from 8:30 am until 4:30 pm at least 48 hours prior to the meeting. Requests for a qualified ASL interpreter require five (5) working days advance notice. Telephone number 630.510-4944; fax number 630.665.5880; email dsiciliano@wheatonparks.org



Wheaton Park District

Meeting of the Wheaton Park District Board of Commissioners

March 18, 2026, 5:00 pm

CALL TO ORDER

PRESENTATIONS

Kelly Nielsen- Program & Recreation Services Committee

COMMUNITY INPUT

Public comments are important to the Board. However, it is the Board's policy not to take action on items until time has been taken to gather information and discuss all options. Lack of action does not imply lack of interest in the issues. During the community input portion of the agenda the Board typically will ask residents to provide input prior to accepting input from nonresidents.

The purpose of the public participation is to allow the public the opportunity to make a statement to the Board. The purpose of public participation is not to provoke a debate with the Board. Once an individual has spoken, that individual may not speak on the same issue again Any limitation regarding addressing the Board may be waived by the Park Board President.

Except during the public comment portion of the regular Board agenda, or as stated in this rule, no person other than the Executive Director or the District's Attorney may address the Board.

CONSENT AGENDA

Consent Agenda items are considered by the Park District to be routine and will be enacted in one motion. There will be no separate discussion on these items. If a member of the Park Board requests, a Consent Agenda item will be removed from the Consent Agenda and considered as an individual item at the end of old or new business.

- A. Approval of the Disbursements totaling \$1,180,657.55 for the period beginning February 11, 2026, and ending March 10, 2026
Approval of Subcommittee Meeting Minutes January 17, 2026
- B. Approval of Board Meeting Minutes February 18, 2026
- C. Approval of Subcommittee Meeting Minutes March 4, 2026
- D. Review of Post Issuance Compliance Report for General Obligation Limited Park Bonds Series 2025



UNFINISHED BUSINESS

None

NEW BUSINESS

1. **Ordinance 2026-02** – Motion to adopt Ordinance 2026-02 Disposal and Sale of Personal Property Owned by the Wheaton Park District.
2. **Athletic and Recreation Program Contractual Services** – Motion to Approve the 2026 Athletic and Recreation Program Services Independent Contractor agreement amounts resulting in expenditures over \$19,999.
3. **Communications Consulting Services** – Motion to approve an agreement for professional services with Public Communications Inc. at a cost not to exceed \$62,000
4. **Survey Consulting Services** – Motion to approve an agreement for professional services with AQuity Inc. for \$29,875
5. **Xerox**- Motion to approve 5 year lease and service agreements with Xerox Business Solutions LLC for 8 Xerox Multifunction (Copier) Devices at a total annual lease cost of \$13,373.16 and an annual service cost of \$13,401.80
6. **Graf Park Synthetic Turf Replacement Project** – Motion to approve cooperative purchasing pricing with Field Turf in the amount of \$568,032 plus a 10% contingency for the replacement of the synthetic turf carpet at Graf Park
7. **Graf Park Batting Cage, Bleachers and Track Improvement Project** – Motion to accept the bid from Innovation Landscape for \$295,855.00 plus a 10% contingency
8. **Seven Gables & Atten Parks Backstop Painting Project** – Motion to approve a contract with Muscat Painting for the base bid amount of \$18,848 plus a 10% contingency
9. **Atten Park Tennis and Pickleball Courts Color Coating Project** – Motion to approve a contract with U.S. Tennis Courts for the base bid and alternate for a total of \$45,550 plus a 10% contingency
10. **Contractual Mowing Services** – Motion to approve a contract renewal with Sebert for the 2026 season for a total of \$23,400.00



11. **Arrowhead Golf Club Driving Range Project Prefabricated Structure** – Motion to approve the base bid from Performance Delivery, Inc. dba Cover the Tees in the amount of \$693,036 plus a 10% contingency
12. **Arrowhead Golf Club Driving Range Project** – Motion to approve contract amendment 1 for additional services with FMGA Architects in the amount of \$64,425
13. **Natural Areas Maintenance Services (Various Park Locations)** – Motion to approve contracts with Bedrock Earthscapes:
 - 2025 Contract renewal & update to include the addition of Briar Patch for \$37,950 for 2026 services
 - Additional services contract for added scope to parks currently under contract, prescribed burning and additional service locations for \$27,150 for 2026 services
14. **Burglar Alarm Monitoring and Maintenance Services** – Motion to approve the base bid for alarm monitoring services from ADS for 2026 in the amount of \$12,474 with options to renew for additional one-year terms in 2027 and 2028.
15. **Portable Irrigation Equipment Purchase** – Motion to approve the purchase of Three Kifco B140 Water reels from Reinders in the amount of \$46,524.00
16. **Turf Management Supplies Purchase** – Motion to approve turf management supplies as recommended
Vendor and price details provided on the last page of the agenda
17. **Rice Pool and Waterpark Renovation Design** – Motion to approve a professional services agreement for concept designs and construction cost estimates from FGMA Architects in the amount of \$7,500
18. **Kelly / Edison Park** – Motion to approve a Temporary Construction Easement Agreement with Community Unit School District 200.
19. **Sound & Lighting for 2026 Special Events**- Motion to approve the 2026 Special Event Sound & Lighting proposal from Hi-Fi Events in the amount of \$32,400.00.



Wheaton Park District

REPORTS FROM STAFF

- Executive Director
- Arrowhead Annual Report
- Monthly Department Reports – Finance, Special Facilities, Marketing, Development, Events, Recreation, Athletics, Parks, and Planning

BOARD SUBCOMMITTEE REPORTS / DISCUSSION

CLOSED SESSION

- a) Appointment, employment, compensation, discipline, performance, or dismissal of specific employees, 5ILCS 120/2 (c) (1)
- b) The Selection of a Person to Fill a Vacancy in Public Office, 5 ILCS 120/2(c) (3).
- c) Purchase or lease of real property, 5ILCS 120/2 (c) (5)
- d) Setting of price for sale or lease of property owned by the public body, 5ILCS 120/2 (c) (6)
- e) Pending, probable or imminent litigation, 5ILCS 120/2 (c) (11)
- f) Discussion of minutes of meetings lawfully closed under this Act, whether for purposes of approval by the body of the minutes or semi-annual review of the minutes, 5 ILCS 120/2 (c) (21)

POSSIBLE ACTION ON ITEMS DISCUSSED IN CLOSED SESSION

ADJOURNMENT



New Business #16 Vendor and Price Detail – Recommended Quotes are **Highlighted**

Spring 2026 Athletic Field Turf Products Quotes				
Product	Unit Size	Advanced Turf Solutions	Tyler Enterprises	Conserv FS
21-0-0 Ammonium Sulfate	50-lb bag	\$19.95	\$18.20	\$16.50
Anderson's 16-0-8 + Escalade	50-lb bag	\$25.00	\$27.70	\$27.00
Anderson's 22-0-4 w/ HCU and Black Gypsum DG	50-lb bag	\$39.10	\$43.70	-
Anderson's 21-22-4 with Mesotrione	50-lb bag	\$59.95	\$65.00	\$65.00
22-3-11 50% XCU w/ Foliar-Pak Armament	50-lb bag	\$23.00	\$27.70	\$28.00
ATS Barenburg HGT Seed w/ Foliar-Pak XCD (KBG)	50-lb bag	\$212.50	-	\$247.50
ATS Barenburg RPR Seed w/ Foliar-Pak XCD (Rye)	50-lb bag	\$125.00	-	\$94.50

Checks Approval Document

Board of Commissioners Report from the period beginning February 11, 2026 ending March 10, 2026.

Fund # and Description	Invoice Amounts
10-General	128,073.73
20-Recreation	394,209.30
22-Cosley Zoo	26,172.94
23-Liability	82,438.27
26-IMRF	46,051.37
30-Debt Service	9,200.00
40-Capital Projects	35,742.24
60-Golf Fund	211,430.65
70-Information Technology	48,777.34
75-Health Insurance	198,561.71
Grand Total *	1,180,657.55

To the Board of Commissioners

The payment of the above listed accounts has been accepted by the Park District Board of Commissioners at their meeting held on March 18, 2026.


(Treasurer)


(Secretary)

Vendor Name and #	Check #	GL Account Number	Description	Invoice Amounts
Abbott Tree Care Professionals LLC. 04111	260505	60-000-000-20-2010-0000	Selective Pruning Along Communication Lines	3,200.00
Abbott Tree Care Professionals LLC. 04111 Total *				3,200.00
Adolph Kiefer and Associates LLC 06704	260571	20-222-232-53-5302-0000	Rice Preseason Supplies	112.40
Adolph Kiefer and Associates LLC 06704 Total *				112.40
Advanced Intelligence Engineering 05743	260333	70-000-000-52-5240-0000	Managed IT Services for February 2026	22,842.80
Advanced Intelligence Engineering 05743 Total *				22,842.80
Advanced Turf Solutions 03163	260334	60-000-000-53-5349-0000	Calcium Chloride Bagged/Three Way Blended Rock Salt	1,542.90
Advanced Turf Solutions 03163 Total *				1,542.90
Advocate Health and Hospitals Corporation 06940	260386	23-418-000-52-5208-0000	Back Evaluation	137.00
Advocate Health and Hospitals Corporation 06940 Total *				137.00
Aflac 01091	0	10-000-000-21-2131-0000	February 2026 Aflac	177.76
	0	10-000-000-21-2132-0000	February 2026 Aflac	147.70
Aflac 01091 Total *				325.46
Airgas National Carbonation 03113	260572	60-612-000-52-5220-0000	Inv# 9168713204 Bulk Co2	220.55
Airgas National Carbonation 03113 Total *				220.55
Airgas USA LLC 00018	260506	60-612-000-54-5441-0000	Inv# 9168981447	67.54
Airgas USA LLC 00018 Total *				67.54
Alexander Equipment Co. Inc. 00021	260335	10-101-000-52-5210-0000	PSC 75007 Equipment 1745	575.65
Alexander Equipment Co. Inc. 00021 Total *				575.65
Allison 07402	260387	20-220-204-52-5280-4457	Wheaton United Payment	333.33
Allison 07402 Total *				333.33
Alpha Graphics 00032	260336	10-000-000-54-5401-0000	Mixer Signage	100.00
	260336	20-000-000-54-5401-0000	Mixer Signage	100.00
Alpha Graphics 00032 Total *				200.00
Amperage Electrical Supply, Inc. 07053	260573	60-000-000-53-5312-0000	Inv# 6585-2354195	300.00
Amperage Electrical Supply, Inc. 07053 Total *				300.00
Anderson Elevator Co. 00042	260388	10-101-000-52-5211-0000	Elevator Maintenance - PSC	171.00
	260388	10-101-854-52-5211-0000	Elevator Maintenance - DHM	234.00
	260388	20-101-220-52-5211-0000	Elevator Maintenance - CC	210.00
	260388	20-101-225-52-5211-0000	Elevator Maintenance - CAC	212.00
Anderson Elevator Co. 00042 Total *				827.00
Anthem Sports LLC 06339	260507	20-000-205-53-5353-0000	Soccer Goals	4,469.58
	260507	20-220-204-53-5301-4451	Soccer Nets	480.62
	260507	20-220-204-53-5301-4454	Soccer Nets	480.62
	260507	20-220-204-53-5301-4457	Soccer Nets	480.62
Anthem Sports LLC 06339 Total *				5,911.44
Association of Zoos & Aquariums 00035	260508	22-501-000-54-5425-0000	AZA Filing Fee and Visiting Committee Deposit	6,500.00
Association of Zoos & Aquariums 00035 Total *				6,500.00
AT&T Internet 00070	260389	10-000-856-52-5262-0000	Prairie 855 W Prairie Ave 020826-030726	115.17
	260389	10-101-000-52-5262-0000	Parks 1000 Manchester Rd 020226-030126	115.17
	260574	60-000-000-52-5262-0000	AGC 26W151 Butterfield Rd 021226-031126	115.17
AT&T Internet 00070 Total *				345.51
AT&T Mobility 00068	260575	10-000-000-52-5265-0000	300-4503 D. Siciliano 011826-021726	52.88

Vendor Name and #	Check #	GL Account Number	Description	Invoice Amounts
AT&T Mobility 00068	260575	10-000-000-52-5265-0000	346-9175 Tablet 7 Ex Director 011826-021726	28.74
	260575	10-000-000-52-5265-0000	945-7726 M. Benard 011826-021726	52.88
	260575	10-000-415-52-5265-0000	234-8725 Lauren C 011826-021726	47.69
	260575	10-000-415-52-5265-0000	251-4355 Jenny A 011826-021726	47.69
	260575	10-000-415-52-5265-0000	251-5866 Events Tablet 10 011826-021726	23.74
	260575	10-000-415-52-5265-0000	251-8452 Tablet 11 Events 011824-021726	23.74
	260575	10-000-415-52-5265-0000	703-2734 Hot Spot 2 Events 011826-021726	43.73
	260575	10-000-416-52-5265-1906	703-6930 Hot Spot 4 Events 011826-021726	43.73
	260575	10-000-416-52-5265-1906	815-6705 Events iPad 011826-021726	23.74
	260575	10-000-416-52-5265-1906	815-6706 Events iPad 011826-021726	23.74
	260575	10-000-416-52-5265-1906	815-6707 Events iPad 011826-021726	23.74
	260575	10-101-000-52-5265-0000	234-1025 Parks Tablet 8 011826-021726	23.74
	260575	10-101-000-52-5265-0000	234-4979 Hurley Security 011826-021726	48.74
	260575	10-101-000-52-5265-0000	234-7296 Graf Security 011826-021726	48.74
	260575	10-101-000-52-5265-0000	234-8452 Parks Tablet 21 011826-021726	23.74
	260575	10-101-000-52-5265-0000	251-7683 Parks Tablet 23 011826-021726	28.74
	260575	10-101-000-52-5265-0000	346-0577 Security 7 Gables 011826-021726	83.74
	260575	10-101-000-52-5265-0000	346-9211 Matt W 011826-021726	47.69
	260575	10-101-000-52-5265-0000	386-1562 Parks Dept 011826-021726	6.35
	260575	10-101-000-52-5265-0000	386-1616 Parks Dept 011826-021726	6.35
	260575	10-101-000-52-5265-0000	386-5050 Ian P 011826-021726	47.69
	260575	10-101-000-52-5265-0000	473-5805 Marsh Security 011826-021726	38.74
	260575	10-101-000-52-5265-0000	520-3716 Atten Park Router 011826-021726	48.74
	260575	10-101-000-52-5265-0000	639-8267 Parks Dept 011826-021726	6.35
	260575	10-101-000-52-5265-0000	639-8599 Parks Dept 011826-021726	47.69
	260575	10-101-000-52-5265-0000	871-6005 Briar Patch Security 011826-021726	38.74
	260575	10-101-000-52-5265-0000	917-4832 P. Stanczak 011826-021726	47.69
	260575	10-419-000-52-5265-0000	234-2925 Martha H 011826-021726	47.69
	260575	10-419-000-52-5265-0000	815-1067 Sandra S 011826-021726	52.88
	260575	20-000-112-52-5265-0000	520-8361 Marsh Camps 011826-021726	52.88
	260575	20-000-200-52-5265-0000	234-1813 Chad S 011826-021726	47.69
	260575	20-000-200-52-5265-0000	251-7649 Recreation Tablet 22 011826-021726	23.74
	260575	20-000-200-52-5265-0000	536-4138 V. Beyer 011826-021726	47.69
	260575	20-000-205-52-5265-0000	605-1287 Athletics 011826-021726	47.69
	260575	20-000-205-52-5265-0000	703-0400 Hot Spot 3 Athletics 011826-021726	43.73
	260575	20-000-304-52-5265-0000	251-0735 MLC Travel 011826-021726	52.88
	260575	20-000-415-52-5265-0000	414-0027 M. Wilhelmi 011826-021726	47.69
	260575	20-101-000-52-5265-0000	885-4579 D. Shee 011826-021726	30.24
	260575	20-101-220-52-5265-0000	768-2406 WPD Wagner 011826-021726	47.69
	260575	20-220-207-52-5265-0000	251-0972 Kelly N 011826-021726	47.69
	260575	20-220-207-52-5265-0000	346-9428 J. Martinson 011826-021726	47.69
	260575	20-222-232-52-5265-0000	251-7369 Max Y 011826-021726	47.69
	260575	20-222-232-52-5265-0000	885-4684 W. Russell 011826-021726	47.69
	260575	20-350-302-52-5265-0000	703-1026 Hot Spot 1 PPF 011826-021726	43.73
	260575	22-501-000-52-5265-0000	234-0136 Cosley Tablet 16 011826-021726	23.74
	260575	22-501-000-52-5265-0000	234-9679 Cosley Tablet 9 011826-021726	23.74
	260575	22-501-000-52-5265-0000	779-8546 Cosley Tablet 17 011826-021726	23.74
	260575	60-000-000-52-5265-0000	520-5201 AGC Tablet 13 011826-021726	23.74

Vendor Name and #	Check #	GL Account Number	Description	Invoice Amounts
AT&T Mobility 00068	260575	60-000-000-52-5265-0000	520-5473 AGC Tablet 14 011826-021726	23.74
	260575	60-000-000-52-5265-0000	624-3574 D. Novak 011826-021726	52.88
	260575	60-000-000-52-5265-0000	703-1526 AGC Backup 011826-021726	83.74
	260575	60-000-000-52-5265-0000	871-4196 AGC Tablet 15 011826-021726	23.74
AT&T Mobility 00068 Total *				2,085.55
Atkinson 07105	260390	20-220-204-52-5280-4457	Wheaton United Payment	19,833.33
Atkinson 07105 Total *				19,833.33
Atlas Bobcat Inc. 03248	260391	10-101-000-53-5315-0000	PSC 74992 Equipment 1210	66.89
Atlas Bobcat Inc. 03248 Total *				66.89
BACHELLER 07139	260392	20-220-204-52-5280-4457	Wheaton United Payment	3,833.33
BACHELLER 07139 Total *				3,833.33
Baker 07144	260393	20-220-204-52-5280-4457	Wheaton United Payment	2,166.67
Baker 07144 Total *				2,166.67
Benson Electrical Contracting, Inc 07662	260509	10-101-000-52-5210-0000	Fire Panel Repair	435.00
Benson Electrical Contracting, Inc 07662 Total *				435.00
Berg Engineering Consultants Ltd. 05532	260337	40-800-846-57-5701-0000	CC Phase 1 Temperature Control Replacement	2,775.00
Berg Engineering Consultants Ltd. 05532 Total *				2,775.00
Biziarek 07609	260510	20-221-223-54-5405-4459	Reimbursement Greater Midwest Baseball League Fees	1,608.40
Biziarek 07609 Total *				1,608.40
Black Gold Septic Inc 00125	260576	60-000-000-52-5263-0000	Inv# 53104	465.00
Black Gold Septic Inc 00125 Total *				465.00
Bottling Group, LLC 00742	260338	60-000-000-14-1416-0000	Inv# 51995407 Non-Alcoholic Beverages	421.76
Bottling Group, LLC 00742 Total *				421.76
Breakthru Beverage Illinois, LLC 05816	168719	60-000-000-14-1412-0000	Inv# 125416693 Liquor	824.06
	168726	60-000-000-14-1412-0000	Inv# 125516693 Liquor	388.64
	168731	60-000-000-14-1412-0000	Inv# 125624994 Liquor	443.20
	168739	60-000-000-14-1412-0000	Inv# 125724511 Liquor	760.05
	168739	60-000-000-14-1412-0000	Inv# 125830036 Liquor	809.31
Breakthru Beverage Illinois, LLC 05816 Total *				3,225.26
Bricks Inc 07857	260577	40-800-825-53-5301-0000	Memorial Arch Repairs	2,569.00
Bricks Inc 07857 Total *				2,569.00
Bronze Memorial Company 04036	260511	40-101-000-53-5338-0000	Memorial Plaque	227.00
Bronze Memorial Company 04036 Total *				227.00
Cable Plus Inc. 00160	260512	60-000-000-53-5312-0000	Inv# 1121620	419.60
Cable Plus Inc. 00160 Total *				419.60
Cali 07167	260513	10-000-415-54-5422-0000	Mileage Reimbursement 01/01/26-02/05/26	19.07
Cali 07167 Total *				19.07
Cali 07321	260394	20-220-204-52-5280-4457	Wheaton United Payment	3,216.67
Cali 07321 Total *				3,216.67
Campagna-Turano Bakery Inc. 06960	260339	60-000-000-14-1415-0000	Inv# 118037054 General Grocery	226.81
	260339	60-000-000-14-1415-0000	Inv# 118037100 General Grocery	188.76
	260339	60-000-000-14-1415-0000	Inv# 118037129 General Grocery	105.05
	260339	60-000-000-14-1415-0000	Inv# 118037161 General Grocery	186.35
	260395	60-000-000-14-1415-0000	Inv# 118037182 General Grocery	40.60
	260395	60-000-000-14-1415-0000	Inv# 118037221 General Grocery	155.14
	260395	60-000-000-14-1415-0000	Inv# 118037281 General Grocery	65.53
	260395	60-000-000-14-1415-0000	Inv# 118037339 General Grocery	79.96
	260514	60-000-000-14-1415-0000	Inv# 118037366 General Grocery	53.41

Vendor Name and #	Check #	GL Account Number	Description	Invoice Amounts
Campagna-Turano Bakery Inc. 06960	260514	60-000-000-14-1415-0000	Inv# 118037398 General Grocery	130.47
	260514	60-000-000-14-1415-0000	Inv# 118037454 General Grocery	92.22
	260514	60-000-000-14-1415-0000	Inv# 118037508 General Grocery	205.01
Campagna-Turano Bakery Inc. 06960 Total *				1,529.31
CAREY 07761	260396	20-220-204-52-5280-4457	Wheaton United Payment	333.33
CAREY 07761 Total *				333.33
Carol Stream Lawn and Power 00164	260397	10-101-000-53-5348-0000	Oil	71.88
	260515	10-101-000-53-5315-0000	Air Filter	14.22
Carol Stream Lawn and Power 00164 Total *				86.10
CARTER 07115	260398	20-220-204-52-5280-4457	Wheaton United Payment	1,750.00
CARTER 07115 Total *				1,750.00
Chicago Beverage Systems, LLC 01058	168732	60-000-000-14-1412-0000	Inv# 100941985 Beer	1,197.00
Chicago Beverage Systems, LLC 01058 Total *				1,197.00
Chicago Zoological Society 01119	260399	22-501-000-53-5339-0000	Tuckers Beef for Feed	1,725.00
Chicago Zoological Society 01119 Total *				1,725.00
Chicagoland Whistles Inc. 06978	260400	20-220-204-52-5280-4440	In-House Basketball Referees	3,680.00
	260400	20-220-204-52-5280-4445	Travel Basketball Referees	3,600.00
Chicagoland Whistles Inc. 06978 Total *				7,280.00
Christensen 05667	260401	22-501-000-54-5422-0000	Mileage Reimbursement for January 2026	14.50
Christensen 05667 Total *				14.50
City of Wheaton 00192	260402	10-000-000-54-5401-0000	January Board Meeting	103.34
	260402	20-000-000-54-5401-0000	January Board Meeting	103.33
	260402	60-000-000-54-5401-0000	January Board Meeting	103.33
City of Wheaton 00192 Total *				310.00
City of Wheaton 00193	260516	10-000-000-52-5264-0000	Briar Patch Park 010726-020626	159.50
	260516	10-000-000-52-5264-0000	Briarknoll Park 010726-020626	20.96
	260516	10-000-000-52-5264-0000	Central Pk 010626-020526	66.88
	260516	10-000-000-52-5264-0000	DC Hist Museum 010626-020526	53.91
	260516	10-000-000-52-5264-0000	Hillside Park 010726-020626	20.96
	260516	10-000-000-52-5264-0000	Hoffman Park 010626-020526	84.03
	260516	10-000-000-52-5264-0000	Hurley Park 010726-020626	45.68
	260516	10-000-000-52-5264-0000	Kelly Park/Edison 010726-020626	156.77
	260516	10-000-000-52-5264-0000	Memorial Park 010626-020526	178.33
	260516	10-000-000-52-5264-0000	Northside Park 010626-020526	513.98
	260516	10-000-000-52-5264-0000	Prairie Path Park 010726-020626	37.20
	260516	10-000-000-52-5264-0000	Scottdale Park 010726-020626	57.00
	260516	10-000-000-52-5264-0000	Seven Gables Park 010726-020626	567.84
	260516	10-000-000-52-5264-0000	Sunnyside Park 010726-020626	31.03
	260516	10-000-000-52-5264-0000	Triangle Park 010626-020526	32.43
	260516	10-000-000-52-5264-0000	W W Stevens Park 010626-020526	23.08
	260516	10-000-856-52-5264-0000	855 Prairie 010626-020526	210.51
	260516	10-101-000-52-5264-0000	Parks & Planning 010626-020526	327.72
	260516	10-430-000-52-5264-0000	DC Hist Museum 010626-020526	23.11
	260516	20-000-000-52-5264-0000	Atten Park 010726-020626	571.51
	260516	20-000-000-52-5264-0000	Boy Scout Cabin 010626-020526	57.34
	260516	20-000-000-52-5264-0000	Graf Park/Monroe 010626-020526	20.96
	260516	20-000-000-52-5264-0000	Graf Pk/Monroe 010626-020526	168.96
	260516	20-000-000-52-5264-0000	Rathje Park 010726-020626	59.99

Vendor Name and #	Check #	GL Account Number	Description	Invoice Amounts
City of Wheaton 00193	260516	20-000-000-52-5264-0000	Toohy Park 010726-020626	166.33
	260516	20-000-112-52-5264-0000	Lincoln Marsh 010726-020626	202.99
	260516	20-000-304-52-5264-0000	Mary Lubko Center 010626-020526	82.02
	260516	20-220-225-52-5264-0000	Central Athletic Complex 010626-020526	490.86
	260516	20-220-225-52-5264-0000	Zamboni Storage 010626-020526	210.74
	260516	20-222-231-52-5264-0000	Northside Pool 010626-020526	457.26
	260516	20-222-232-52-5264-0000	Rice Pool 010726-020626	771.24
	260516	20-224-220-52-5264-0000	Community Center 010726-020626	1,188.14
	260516	20-224-234-52-5264-0000	Blanchard Building 010726-020626	140.87
	260516	20-350-303-52-5264-0000	Clocktower Commons 010626-020526	67.20
	260516	22-501-000-52-5264-0000	Cosley Bobcat 010626-020526	69.64
	260516	22-501-000-52-5264-0000	Cosley Welcome Center 010626-020526	142.78
	260516	22-501-000-52-5264-0000	Cosley Zoo 010626-020526	439.38
	260516	60-000-000-52-5264-0000	AGC Chemical Building 010726-020626	101.67
	260516	60-000-000-52-5264-0000	AGC Clubhouse 010726-020626	654.16
	260516	60-000-000-52-5264-0000	AGC Maintenance Building 010726-020626	119.70
	City of Wheaton 00193 Total *			
Cleary Alman 07085	260403	20-220-204-52-5280-4457	Wheaton United Payment	3,166.67
Cleary Alman 07085 Total *				3,166.67
Cole 07176	260404	20-220-202-52-5280-2258	Ballroom Dance Classes 01/06/26-02/10/26	432.00
	260404	20-220-202-52-5280-2258	Swing Dance Classes 01/06/26-02/11/26	162.00
Cole 07176 Total *				594.00
Colliflower 07251	260340	10-101-000-53-5315-0000	PSC 74997 Equipment Tr83	142.86
Colliflower 07251 Total *				142.86
Comcast Cable 03754	260341	20-101-000-52-5262-0000	616 Delles Rd 021026-030926	170.14
	260341	20-220-225-52-5262-0000	Central Athletic Complex 021126-031026	269.09
	260341	20-222-231-52-5262-0000	Northside Pool 021126-031026	170.14
	260341	20-350-303-52-5262-0000	Clocktower Commons 021126-031026	170.14
	260341	22-501-000-52-5262-0000	Cosley Zoo 021126-031026	170.14
	260341	60-000-000-52-5262-0000	AGC Clubhouse 021426-031326	258.45
	260405	10-101-000-52-5262-0000	Parks Services 021726-031626	137.09
	260405	20-000-112-52-5262-0000	Lincoln Marsh 021826-031726	170.14
	260405	20-000-304-52-5262-0000	Mary Lubko Center 021926-031826	137.09
	260405	20-101-225-52-5262-0000	Central Athletic Center 021626-031526	142.09
	260517	10-000-000-52-5262-0000	DC History Museum 022226-032126	170.14
	260517	20-224-220-52-5262-0000	Admin IP Services 022626-032526	230.09
	260517	20-224-220-52-5262-0000	Community Center 030126-033126	4.52
	260578	10-000-856-52-5262-0000	Prairie 030526-040426	269.09
	260578	20-224-234-52-5262-0000	CC Annex 030226-040126	140.90
	Comcast Cable 03754 Total *			
Commonwealth Edison 00406	260342	10-000-000-52-5260-0000	Seven Gables 121525-011626	20.69
	260342	20-000-112-52-5260-0000	Lincoln Ave 121725-012026	178.90
	260342	20-224-234-52-5260-0000	1753 S. Blanchard CC Annex 010526-020226	1,907.08
	260518	10-000-000-52-5260-0000	Seven Gables 011626-021626	20.73
Commonwealth Edison 00406 Total *				2,127.40
Concentric Ventures Incorporated 06434	260406	60-612-000-52-5210-0000	Inv# 11782 January 2026 Liquor Consulting	1,750.00
Concentric Ventures Incorporated 06434 Total *				1,750.00
Conserv FS Inc. 00418	260407	22-501-000-53-5316-0000	Ice Melt	1,272.55

Vendor Name and #	Check #	GL Account Number	Description	Invoice Amounts
Conserv FS Inc. 00418	260519	22-501-000-53-5316-0000	Ice Melt	1,447.20
Conserv FS Inc. 00418 Total *				2,719.75
Constellation Newenergy Gas Division LLC 00475	260579	20-222-232-52-5261-0000	Rice Pool 010126-013126	1,846.20
	260579	20-224-220-52-5261-0000	Community Center 010126-013126	5,538.61
	260579	60-000-000-52-5261-0000	AGC Clubhouse 010126-013126	4,436.70
Constellation Newenergy Gas Division LLC 00475 Total *				11,821.51
Constellation NewEnergy Inc 00417	260343	10-000-000-52-5260-0000	C L Herrick Park 121825-012126	44.88
	260343	10-000-000-52-5260-0000	O S Park Rd 122625-012726	467.86
	260343	20-220-225-52-5260-0000	Zamboni Storage 120425-010726	282.70
	260343	22-501-000-52-5260-0000	Cosley Welcome Center 121725-012026	249.50
	260408	20-000-000-52-5260-0000	Seven Gables Barn 010526-020226	64.29
	260408	20-220-225-52-5260-0000	Zamboni Storage 010726-020426	255.42
	260520	10-000-000-52-5260-0000	Briar Patch Park 011526-021326	88.29
	260520	10-000-000-52-5260-0000	DC History Museum 011326-021126	702.80
	260520	10-000-000-52-5260-0000	Main Street Tennis Lighting 011326-021126	21.45
	260520	10-000-000-52-5260-0000	Memorial Park 011326-021126	42.23
	260520	10-430-000-52-5260-0000	DC History Museum 011326-021126	301.20
	260520	20-000-000-52-5260-0000	Atten Park 011526-021326	418.57
	260520	20-000-000-52-5260-0000	Graf Park/Monroe 011526-021326	373.30
	260520	20-000-304-52-5260-0000	Mary Lubko Center 011326-021126	678.06
	260520	20-220-225-52-5260-0000	Central Athletic Complex 011426-021226	5,763.09
	260520	20-222-232-52-5260-0000	Rice Pool 011526-021326	3,128.32
	260520	20-224-220-52-5260-0000	Community Center 011526-021326	9,384.97
	260520	20-350-303-52-5260-0000	Clocktower Commons 011426-021226	223.43
	260580	10-000-000-52-5260-0000	C L Herrick Park 012126-021926	44.83
	260580	10-000-000-52-5260-0000	Northside Park 012026-021826	443.81
	260580	10-000-000-52-5260-0000	O S Park Rd 012726-022526	474.23
	260580	10-000-000-52-5260-0000	Overpass Bridge 012026-021826	86.24
	260580	10-000-856-52-5260-0000	855 Prairie 012026-021826	823.40
	260580	20-000-000-52-5260-0000	Atten Park 011124-020924	73.68
	260580	20-000-000-52-5260-0000	Boy Scout Cabin 012026-021826	72.23
	260580	20-000-000-52-5260-0000	Girl Scout Cabin 012026-021826	70.64
	260580	20-000-000-52-5260-0000	Northside Shelter 012026-021826	95.66
	260580	20-222-231-52-5260-0000	Northside Pool 012026-021826	552.97
	260580	22-501-000-52-5260-0000	Cosley Welcome Center 012026-021826	309.79
	260580	22-501-000-52-5260-0000	Cosley Zoo 012026-021826	2,731.58
	260580	60-000-000-52-5260-0000	AGC Clubhouse 011626-021626	10,354.19
	260580	60-000-000-52-5260-0000	Orchard Gate 011626-021626	47.74
Constellation NewEnergy Inc 00417 Total *				38,671.35
Consumers Packing Co. 00419	260344	60-000-000-14-1411-0000	Inv# 435816 Meat	3,295.48
	260344	60-000-000-14-1411-0000	Inv# 436038 Meat	830.78
	260409	60-000-000-14-1411-0000	Inv# 432886 Meat	182.07
	260409	60-000-000-14-1411-0000	Inv# 436158 Meat	2,912.58
	260409	60-000-000-14-1411-0000	Inv# 436229 Meat	80.19
	260409	60-000-000-14-1411-0000	Inv# 436330 Meat	1,376.66
	260521	60-000-000-14-1411-0000	Inv# 436502 Meat	5,310.69
	260521	60-000-000-14-1411-0000	Inv# 436705 Meat	1,047.73

Vendor Name and #	Check #	GL Account Number	Description	Invoice Amounts
Consumers Packing Co. 00419	260581	60-000-000-14-1411-0000	Inv# 436832 Meat	2,158.27
	260581	60-000-000-14-1412-0000	Inv# 436977 Meat	1,838.54
	260581	60-000-000-14-1412-0000	Inv# 437040 Meat	619.20
Consumers Packing Co. 00419 Total *				19,652.19
Cozzini Bros, Inc. 06626	260345	60-612-000-52-5210-0000	Inv# C20345084 Cutlery Service	58.30
	260522	60-612-000-52-5210-0000	Inv# C20441347 Cutlery Service	58.30
Cozzini Bros, Inc. 06626 Total *				116.60
Crowe 07841	168733	10-000-000-52-5210-0000	Program and Rec Services Committee - AI Presentation	500.00
Crowe 07841 Total *				500.00
Cuautle 07305	260410	20-220-204-52-5280-4457	Wheaton United Payment	1,800.00
Cuautle 07305 Total *				1,800.00
Cuculich 07109	260411	20-220-204-52-5280-4457	Wheaton United Payment	900.00
Cuculich 07109 Total *				900.00
Cuculich 07338	260412	20-220-204-52-5280-4457	Wheaton United Payment	166.67
Cuculich 07338 Total *				166.67
Culligan DuPage Soft Water Service Inc 04296	260582	10-000-856-52-5220-0000	Water Cooler Rental March 2026	6.00
	260582	10-000-856-53-5302-0000	Drinking Water February 2026	62.93
	260582	20-000-112-52-5220-0000	Water Cooler Rental March 2026	6.00
	260582	20-000-304-52-5220-0000	Water Cooler Rental March 2026	6.00
	260582	20-224-220-52-5220-0000	Water Cooler Rental March 2026	12.00
	260582	20-224-220-53-5302-0000	Drinking Water February 2026	108.17
	260582	22-501-000-52-5220-0000	Water Cooler Rental March 2026	6.00
	260582	22-501-000-53-5302-0000	Drinking Water February 2026	35.96
	260582	60-000-000-52-5210-0000	Arrowhead Cooler Rental March 2026	18.00
	260582	60-000-000-52-5210-0000	Arrowhead Drinking Water February 2026	53.94
	260582	60-612-000-52-5210-0000	Arrowhead Salt Delivery February 2026	102.50
	260582	60-612-000-52-5210-0000	Arrowhead Softner Rental March 2026	110.00
	Culligan DuPage Soft Water Service Inc 04296 Total *			
Dahlberg 07790	260523	20-221-221-52-5210-0000	Cheer Choreography Reimbursement	2,000.00
	260523	20-221-221-52-5285-0000	Cheer Choreography Reimbursement	90.00
	260583	20-221-221-52-5210-0000	Cheer Wristband Reimbursement	120.00
Dahlberg 07790 Total *				2,210.00
Dearborn Life Insurance Company 06726	260524	10-000-000-21-2130-0000	Voluntary Life Insurance March 2026	945.27
	260524	75-000-000-12-1221-0000	Foundation% Insurance March 2026	27.32
	260524	75-000-000-12-1222-0000	WDSRA% Insurance March 2026	13.26
	260524	75-000-000-12-1223-0000	Cobra Vision Insurance March 2026	6.67
	260524	75-000-000-21-2137-0000	Retiree Vision Insurance March 2026	31.97
	260524	75-000-000-52-5230-0000	Group Term Life Insurance March 2026	1,583.70
	260524	75-000-000-52-5231-0000	EAP for March 2026	651.52
	260524	75-000-000-52-5231-0000	Vision Insurance March 2026	1,176.67
Dearborn Life Insurance Company 06726 Total *				4,436.38
Direct Fitness Solutions 00219	260584	20-350-302-52-5210-0000	Equipment Repairs	415.53
Direct Fitness Solutions 00219 Total *				415.53
Dreisilker Electric Motors 00237	260585	20-101-220-53-5316-0000	Vacuum Belt	52.44
Dreisilker Electric Motors 00237 Total *				52.44
Dunham Woods Farms Inc. 04054	260413	20-220-208-52-5280-8820	Horsemanship Class 01/14/26-02/18/26	288.00
Dunham Woods Farms Inc. 04054 Total *				288.00

Vendor Name and #	Check #	GL Account Number	Description	Invoice Amounts
DuPage Convention & Visitors Bureau 00250	260586	10-000-415-54-5425-0000	DCVB Membership Dues for WPD and Cosley	500.00
	260586	60-000-415-54-5442-0000	DCVB Membership Dues for Arrowhead	400.00
DuPage Convention & Visitors Bureau 00250 Total *				900.00
E.J. Rohn Company 06706	260414	20-101-225-52-5210-0000	Matt Service CAC	201.16
	260587	20-101-225-52-5210-0000	Matt Service CAC	201.16
E.J. Rohn Company 06706 Total *				402.32
Euclid Beverage 00269	168720	60-000-000-14-1412-0000	Inv# W-4539228 Beer	1,122.95
	168727	60-000-000-14-1412-0000	Inv# W-4546050 Beer	336.25
	168734	60-000-000-14-1412-0000	Inv# W-4553601 Beer	1,262.45
Euclid Beverage 00269 Total *				2,721.65
EVP Academies LLC 05220	260346	20-220-203-52-5280-3309	01/06/26-01/27/26 Volleyball Classes	588.06
	260588	20-220-203-52-5280-3309	Volleyball Classes 02/03/26	833.08
EVP Academies LLC 05220 Total *				1,421.14
EZ-Toyz Incorporated 07094	260525	40-000-000-57-5701-0000	Cameras for CAC	2,758.00
	260525	40-000-000-57-5701-0000	Cameras for Clocktower Commons	853.01
	260525	40-000-000-57-5701-0000	Cameras for PSC	394.00
	260525	40-000-000-57-5701-0000	Cameras for RMCC	1,576.00
EZ-Toyz Incorporated 07094 Total *				5,581.01
FDS Holdings Inc. 06712	0	60-612-901-52-5239-0000	01/26 Card Connect Gateway Fees	3,240.72
FDS Holdings Inc. 06712 Total *				3,240.72
Feece Oil Company 04888	260347	10-101-000-53-5348-0000	160.8 Gallons of Diesel Fuel	386.28
	260347	10-101-000-53-5348-0000	188.5 Gallons of Regular Gasoline	438.06
	260347	10-101-000-53-5348-0000	27.2 Gallons of Diesel Fuel	67.97
	260347	10-101-000-53-5348-0000	309.2 Gallons of Regular Gasoline	711.57
	260347	10-101-000-53-5348-0000	336.0 Gallons of Regular Gasoline	771.76
	260347	10-101-000-53-5348-0000	34.8 Gallons of Diesel Fuel	92.85
	260347	10-101-000-53-5348-0000	353.1 Gallons of Regular Gasoline	789.83
	Feece Oil Company 04888 Total *			
FGM Architects Inc. 07568	260415	60-000-000-57-5701-0000	AGC Driving Range Schematic Design	5,875.00
FGM Architects Inc. 07568 Total *				5,875.00
Field 07760	260416	20-220-204-52-5280-4457	Wheaton United Payment	333.33
Field 07760 Total *				333.33
Firebirds Soccer Club 06467	260417	20-220-204-52-5280-4457	Wheaton United Indoor League	5,565.00
Firebirds Soccer Club 06467 Total *				5,565.00
Flagship Brands, LLC 07821	260526	60-000-000-14-1431-0000	Mens and Womens Socks	706.02
Flagship Brands, LLC 07821 Total *				706.02
Flexible Benefit Service Corp. 00270	0	10-000-000-21-2138-0000	02-06-2026 HSA Employee Contributions	125.00
	0	10-000-000-21-2138-0000	02-20-2026 HSA Employee Contributions	250.00
	260418	75-000-000-52-5274-0000	Flex/Cobra Admin Fees for January 2026	85.00
Flexible Benefit Service Corp. 00270 Total *				460.00
Floods Royal Flush Inc. 06985	260419	10-101-000-52-5211-0000	Portable Units - Atten Park	193.80
	260419	10-101-000-52-5211-0000	Portable Units - Briar Patch	275.40
	260419	10-101-000-52-5211-0000	Portable Units - Central Park Tennis Courts	275.40
	260419	10-101-000-52-5211-0000	Portable Units - Sensory Garden	275.40
	260419	10-101-000-52-5211-0000	Portable Units - Seven Gables	469.20
	260419	20-101-112-52-5211-0000	Portable Units - Lincoln Marsh	826.20
	260419	20-101-112-52-5211-0000	Portable Units - Northside Shelter	275.40

Vendor Name and #	Check #	GL Account Number	Description	Invoice Amounts
Floods Royal Flush Inc. 06985	260419	20-101-225-52-5211-0000	Portable Units - CAC	469.20
	260419	20-220-204-52-5280-4457	Portable Units - Graf Park	137.70
	260419	20-220-204-52-5280-4457	Portable Units - Graf Park Spring	137.70
Floods Royal Flush Inc. 06985 Total *				3,335.40
Foodservice Solutions Inc 07453	260589	60-612-902-53-5388-0000	Inv# 93298 Fryer Filters	428.44
Foodservice Solutions Inc 07453 Total *				428.44
Footjoy 00289	260348	60-000-000-14-1431-0000	Laguna Mens Spring Order	2,617.65
	260527	60-000-000-14-1431-0000	Hoodies/Vests & Shirts	2,429.89
Footjoy 00289 Total *				5,047.54
Fox Valley Sand Blasting Inc. 05245	260528	60-601-000-53-5315-0000	Inv# 64169	325.00
Fox Valley Sand Blasting Inc. 05245 Total *				325.00
Frederick 07157	260420	20-220-204-52-5280-4457	Wheaton United Payment	333.33
Frederick 07157 Total *				333.33
Gehrig TMP366	168721	20-000-000-20-2025-0000	Fitness Pass Refund	81.00
Gehrig TMP366 Total *				81.00
Gemplers Inc. 00316	260421	60-601-000-53-5342-0000	Safety Supplies	2,612.85
Gemplers Inc. 00316 Total *				2,612.85
Genau 07777	260422	20-220-204-52-5280-4457	Wheaton United Payment	333.33
Genau 07777 Total *				333.33
Get Fresh Produce Inc. 04508	260349	60-000-000-14-1413-0000	Inv# 05401465 Produce	215.80
	260349	60-000-000-14-1413-0000	Inv# 05405355 Produce	157.93
	260349	60-000-000-14-1413-0000	Inv# 05406174 Produce	311.64
	260349	60-000-000-14-1413-0000	Inv# 05408318 Produce	192.16
	260349	60-000-000-14-1413-0000	Inv# 05409412 Produce	379.95
	260349	60-000-000-14-1413-0000	Inv# 05410852 Produce	646.10
	260423	60-000-000-14-1413-0000	Inv# 05411973 Produce	187.90
	260423	60-000-000-14-1413-0000	Inv# 05413722 Produce	394.67
	260423	60-000-000-14-1413-0000	Inv# 05415220 Produce	284.35
	260423	60-000-000-14-1413-0000	Inv# 05418341 Produce	514.00
	260423	60-000-000-14-1413-0000	Inv# 05418823 Produce	38.10
	260529	60-000-000-14-1413-0000	Inv# 05423930 Produce	591.69
	260529	60-000-000-14-1413-0000	Inv# 05426683 Produce	381.09
	260529	60-000-000-14-1413-0000	Inv# 05433411 Produce	486.40
	260590	60-000-000-14-1413-0000	Inv# 05435198 Produce	450.91
	260590	60-000-000-14-1413-0000	Inv# 05436468 Produce	336.70
	260590	60-000-000-14-1413-0000	Inv# 05437742 Produce	555.95
	260590	60-000-000-14-1413-0000	Inv# 05440085 Produce	327.19
	260590	60-000-000-14-1413-0000	Inv# 05440509 Produce	20.00
	260590	60-000-000-14-1413-0000	Inv# 05441081 Produce	451.58
Get Fresh Produce Inc. 04508 Total *				6,924.11
Global Payments Inc 04287	0	10-000-416-52-5239-1900	01/26 Merchant CC Processing Fees	116.35
Global Payments Inc 04287 Total *				116.35
Gopher Sign Company 06036	260424	40-800-822-53-5393-0000	LM Interpretive Signs	5,000.00
Gopher Sign Company 06036 Total *				5,000.00
Gosling 07117	260425	20-220-204-52-5280-4457	Wheaton United Payment	7,666.67
Gosling 07117 Total *				7,666.67
Graves 07648	168722	60-612-902-52-5225-0000	AGC Live Music 02/20/26	300.00
Graves 07648 Total *				300.00

Vendor Name and #	Check #	GL Account Number	Description	Invoice Amounts
Grayslake Feed Sales, Inc. 06902	260350	22-501-000-53-5336-0000	Litter/Hay Stretcher/Wood Aspen	7.15
	260350	22-501-000-53-5339-0000	Animal Feed	(91.20)
	260350	22-501-000-53-5339-0000	Cow/Pig/Llama/Goat Feed	217.85
	260426	22-501-000-53-5339-0000	Impact Hay Stretcher	94.50
Grayslake Feed Sales, Inc. 06902 Total *				228.30
Groot Industries with Waste Connections 05757	260591	10-101-000-52-5263-0000	Central Athletic Ctr 022326-022326	269.35
	260591	10-101-000-52-5263-0000	Memorial Park 030126-033126	32.55
	260591	10-101-000-52-5263-0000	Parks 020226-022426	726.19
	260591	20-000-000-52-5263-0000	Parks 020226-022426	726.18
	260591	20-222-232-52-5263-0000	Rice Pool 030126-033126	386.73
	260591	20-224-220-52-5263-0000	Community Center 030126-033126	1,371.13
	260591	22-501-000-52-5263-0000	Cosley Zoo 030126-033126	976.58
	260591	60-000-000-52-5263-0000	Arrowhead AGC 020926-020926	15.75
	260591	60-000-000-52-5263-0000	Arrowhead AGC 030126-033126	1,074.23
Groot Industries with Waste Connections 05757 Total *				5,578.69
Grotts 07320	260427	20-220-204-52-5280-4457	Wheaton United Payment	333.33
Grotts 07320 Total *				333.33
Hagg Press Inc 00386	260530	20-000-415-52-5235-0000	Spring 2026 Program Guide	4,255.00
Hagg Press Inc 00386 Total *				4,255.00
Haggerty Ford 00387	260428	10-101-000-53-5315-0000	PSC 75029 Truck 1197	203.58
Haggerty Ford 00387 Total *				203.58
Halperin 06507	260429	20-220-204-52-5280-4457	Wheaton United Payment	333.33
Halperin 06507 Total *				333.33
Hardwick 07627	260430	20-350-302-52-5210-0000	Holistic Wellness Class 01/06/26-01/27/26	129.36
Hardwick 07627 Total *				129.36
Harris Motor Sports Inc 00395	260431	60-601-000-53-5315-0000	Inv# 02-424633	1,767.81
	260531	60-601-000-53-5315-0000	Inv# 02-424938	898.27
	260531	60-601-000-53-5315-0000	Inv# 02-424952	5.35
Harris Motor Sports Inc 00395 Total *				2,671.43
Hayward 07771	260432	20-221-221-52-5210-0000	January 2026 Reimbursement for Cheerleading Choreograph	390.00
Hayward 07771 Total *				390.00
Health Care Service Corporation 06725	0	75-000-000-12-1221-0000	Foundation% March 2026	425.42
	0	75-000-000-12-1222-0000	WDSRA% March 2026	509.64
	0	75-000-000-12-1223-0000	Cobra Premiums for March 2026	1,092.77
	0	75-000-000-21-2137-0000	Retiree Health/Dental March 2026	3,279.83
	0	75-000-000-52-5231-0000	Employee Health & Dental for March 2026	188,517.57
Health Care Service Corporation 06725 Total *				193,825.23
Herpolsheimer 07775	168740	60-612-902-52-5225-0000	AGC Live Music 03/13/26	300.00
Herpolsheimer 07775 Total *				300.00
Hines Building Supply - US LBM LLC 05162	260592	40-000-188-57-5701-0000	Lions Kiosk	202.57
Hines Building Supply - US LBM LLC 05162 Total *				202.57
Holsteins Garage 02243	260351	10-101-000-52-5210-0000	Vehicle Inspections	225.00
Holsteins Garage 02243 Total *				225.00
Husseini 07454	260434	20-220-204-52-5280-4457	Wheaton United Payment	2,316.67
Husseini 07454 Total *				2,316.67
Husseini 07581	260433	20-220-204-52-5280-4457	Wheaton United Payment	1,966.67
Husseini 07581 Total *				1,966.67
I.M.R.F. 00465	0	10-000-000-21-2123-0000	01/2026 IMRF	16,762.77

Vendor Name and #	Check #	GL Account Number	Description	Invoice Amounts
I.M.R.F. 00465	0	10-000-000-21-2124-0000	01/2026 IMRF	272.10
	0	10-000-000-21-2124-0000	01/2026 IMRF	38,828.18
	0	26-000-000-21-2124-0000	01/2026 IMRF	46,051.37
I.M.R.F. 00465 Total *				101,914.42
ILLINOIS AMERICAN WATER CO. 00453	260435	20-000-112-52-5264-0000	Lincoln Marsh 011426-021126	56.55
ILLINOIS AMERICAN WATER CO. 00453 Total *				56.55
Illinois Department of Employment Security 05511	0	23-000-000-20-2011-0000	4th Quarter 2025 Unemployment Compensation	20,079.00
Illinois Department of Employment Security 05511 Total *				20,079.00
Illinois Youth Soccer Association 05348	260436	20-220-204-52-5280-4457	Spring Tournament Registration for Wheaton United 2012B Boys	825.00
Illinois Youth Soccer Association 05348 Total *				825.00
Ingarra 07327	260437	20-220-204-52-5280-4457	Wheaton United Payment	375.00
Ingarra 07327 Total *				375.00
Iovane 07325	260438	20-220-204-52-5280-4457	Wheaton United Payment	1,125.00
Iovane 07325 Total *				1,125.00
Jay 06868	260532	10-418-000-54-5422-0000	Mileage Reimbursement for 01/14/26-02/12/26	50.10
Jay 06868 Total *				50.10
JMS Environmental Associates Ltd 02378	260533	40-800-846-57-5701-0000	RMCC Remodel Asbestos Inspection	625.00
JMS Environmental Associates Ltd 02378 Total *				625.00
Johnson 00497	260534	60-000-000-54-5432-0000	GIS Hubbard Inn Food	23.47
	260534	60-000-000-54-5432-0000	GIS Lyft	39.61
	260534	60-000-000-54-5432-0000	GIS Mileage Reimbursement	47.85
	260534	60-000-000-54-5432-0000	GIS Miller Ale House Food	24.26
	260534	60-000-000-54-5432-0000	GIS Parking	75.00
	260534	60-000-000-54-5432-0000	GIS Rosen Inn Food	61.65
	260534	60-000-000-54-5432-0000	GIS Rosen Inn Lodging	589.52
Johnson 00497 Total *				861.36
Keith 07118	260439	20-220-204-52-5280-4457	Wheaton United Payment	500.00
Keith 07118 Total *				500.00
Keller 07067	260440	20-220-204-52-5280-4457	Wheaton United Payment	12,083.33
Keller 07067 Total *				12,083.33
Kinczyk 07120	260441	20-220-204-52-5280-4457	Wheaton United Payment	1,166.67
Kinczyk 07120 Total *				1,166.67
Kirhofers Sports Inc 00525	260352	20-220-204-53-5301-4409	Reversible Soccer Jerseys	6,000.00
Kirhofers Sports Inc 00525 Total *				6,000.00
Kish 00526	260593	20-221-223-52-5210-4211	Baseball Winter Camps	844.80
Kish 00526 Total *				844.80
Kline 07119	260442	20-220-204-52-5280-4457	Wheaton United Payment	8,383.33
Kline 07119 Total *				8,383.33
Koeller 07121	260443	20-220-204-52-5280-4457	Wheaton United Payment	1,000.00
Koeller 07121 Total *				1,000.00
Kohley TMP371	168735	20-000-000-20-2025-0000	Fitness Pass Refund	201.00
Kohley TMP371 Total *				201.00
Kortenhoven 07193	260444	20-220-204-52-5280-4457	Wheaton United Payment	1,666.67
Kortenhoven 07193 Total *				1,666.67
Kovacs TMP370	168736	20-000-000-20-2025-0000	Wide Horizons 4s Refund	319.00
Kovacs TMP370 Total *				319.00

Vendor Name and #	Check #	GL Account Number	Description	Invoice Amounts
Landscape Material & Firewood Sales Inc. 05747	260594	10-101-000-53-5331-0000	2025 Inv# 92083 Mulch for NSP	1,092.00
Landscape Material & Firewood Sales Inc. 05747				
Total *				1,092.00
Le Chocolat de Bouchard, LLC 07602	260353	60-612-901-52-5292-0000	Inv# 3061.2 Event Desserts	264.00
Le Chocolat de Bouchard, LLC 07602 Total *				264.00
Lee 07774	260445	20-220-204-52-5280-4457	Wheaton United Payment	333.33
Lee 07774 Total *				333.33
Legrand 00550	260446	22-501-000-54-5422-0000	Mileage Reimbursement for January 2026	26.10
Legrand 00550 Total *				26.10
Lingo Communications LLC 06674	260354	10-000-000-52-5262-0000	Admin 020426-030326	53.00
	260354	10-101-000-52-5262-0000	Parks 020426-030326	501.36
	260354	10-418-000-52-5262-0000	HR 020426-030326	250.68
	260354	10-419-000-52-5262-0000	Finance 020426-030326	250.68
	260354	20-000-000-52-5262-0000	Toohey/Safety City 020426-030326	128.12
	260354	20-000-112-52-5262-0000	Lincoln Marsh 020426-030326	125.34
	260354	20-000-304-52-5262-0000	Mary Lubko Center 020426-030326	125.34
	260354	20-220-000-52-5262-0000	Programs 020426-030326	250.68
	260354	20-220-203-52-5262-0000	CAC 020426-030326	125.34
	260354	20-222-231-52-5262-0000	Northside Pool 020426-030326	125.34
	260354	20-224-220-52-5262-0000	Community Center 020426-030326	501.36
	260354	22-501-000-52-5262-0000	Cosley 020426-030326	250.68
	260354	60-611-000-52-5262-0000	AGC Golf 020426-030326	413.62
	260354	60-612-901-52-5262-0000	AGC Banquets 020426-030326	413.62
	260354	60-612-902-52-5262-0000	AGC Restaurant 020426-030326	426.16
Lingo Communications LLC 06674 Total *				3,941.32
Livingston 07326	260447	20-220-204-52-5280-4457	Wheaton United Payment	1,500.00
Livingston 07326 Total *				1,500.00
Loos TMP373	168741	20-000-000-20-2025-0000	Girls Self Defense Refund	25.00
Loos TMP373 Total *				25.00
Lou Fusz Soccer Club 06878	260535	20-220-204-52-5280-4457	Wheaton United Tournament 05/01/26-05/03/26	785.00
Lou Fusz Soccer Club 06878 Total *				785.00
LRS Holdings LLC 06250	260536	10-101-000-52-5263-0000	Parks&Planning 030126-033126	58.60
	260536	20-000-000-52-5263-0000	Manchester Park 030126-033126	58.60
	260536	20-222-232-52-5263-0000	Rice Pool 030126-033126	78.37
	260536	20-224-220-52-5263-0000	Community Center 030126-033126	277.86
	260536	22-501-000-52-5263-0000	Cosley Zoo 030126-033126	175.56
LRS Holdings LLC 06250 Total *				648.99
Luetkehans 05765	260537	10-000-000-52-5207-0000	Services through 01/19/26	1,371.33
	260537	20-000-000-52-5207-0000	Services through 01/19/26	1,371.34
	260537	60-000-000-52-5207-0000	Services through 01/19/26	1,371.33
Luetkehans 05765 Total *				4,114.00
M&M Event Planners Inc. 06766	260448	60-612-901-52-5292-0000	Inv# 00115 Event Linen	478.00
M&M Event Planners Inc. 06766 Total *				478.00
Marte III 07127	260449	20-220-204-52-5280-4457	Wheaton United Payment	166.67
Marte III 07127 Total *				166.67
Martha Hernandez for Petty Cash 06943	168728	10-000-000-53-5302-0000	Reimbursement - Bank Fee	35.00
Martha Hernandez for Petty Cash 06943 Total *				35.00
Martin 07825	260595	10-430-000-52-5210-0000	2.25.26 Underground Railroad Presentation	414.41

Vendor Name and #	Check #	GL Account Number	Description	Invoice Amounts
Martin 07825 Total *				414.41
Martin Whalen Group Inc 04267	260596	10-000-000-52-5211-0000	Museum 022826-032726	51.77
	260596	10-000-856-52-5211-0000	Prairie 022826-032726	93.43
	260596	10-101-000-52-5211-0000	Parks 022826-032726	139.62
	260596	10-418-000-52-5211-0000	Prairie - HR 022826-032726	12.31
	260596	10-419-000-52-5211-0000	Prairie - Payroll 022826-032726	19.90
	260596	10-419-000-52-5211-0000	Prairie-Finance 022826-032726	46.79
	260596	20-000-000-52-5211-0000	Community Center 022826-032726	89.72
	260596	20-000-112-52-5211-0000	Lincoln Marsh 022826-032726	108.70
	260596	20-000-304-52-5211-0000	Mary Lubko Center 022826-032726	19.37
	260596	20-000-415-52-5211-0000	Prairie - Marketing 022726-032726	470.22
	260596	20-222-231-52-5211-0000	Northside Pool 022826-032726	4.84
	260596	20-222-232-52-5211-0000	Rice Pool 022826-032726	8.48
	260596	20-224-220-52-5211-0000	Community Center - Front Desk 022826-032726	27.77
	260596	20-224-220-52-5211-0000	Community Center 022826-032726	169.77
	260596	20-350-302-52-5211-0000	Parks Plus 022826-032726	16.80
	260596	22-501-000-52-5211-0000	Cosley Zoo 022826-032726	15.27
	260596	60-000-000-52-5211-0000	AGC 022826-032726	628.52
	260596	60-000-000-52-5211-0000	AGC Clubhouse 022826-032726	4.06
	260596	60-000-000-52-5211-0000	Arrowhead- Maintenance 022826-032726	15.60
	260596	60-601-000-52-5211-0000	AGC Clubhouse 022826-032726	4.54
	260596	60-611-000-52-5211-0000	AGC Clubhouse 022826-032726	19.07
	260596	60-612-000-52-5211-0000	AGC Clubhouse 022826-032726	12.60
Martin Whalen Group Inc 04267 Total *				1,979.15
Martinez 07763	260450	20-220-204-52-5280-4457	Wheaton United Payment	1,000.00
Martinez 07763 Total *				1,000.00
Martinson TMP369	168729	20-000-000-20-2025-0000	Galena Overnight Refund	429.00
Martinson TMP369 Total *				429.00
Mathieson 07801	260597	20-221-221-52-5210-0000	Reimbursement for Cheer Choreography	2,100.00
Mathieson 07801 Total *				2,100.00
MCCANN INDUSTRIES INC. 00604	260451	20-101-000-53-5313-0000	Toohy Preschool Ladder	324.79
MCCANN INDUSTRIES INC. 00604 Total *				324.79
McCoyd 07362	260452	20-220-204-52-5280-4457	Wheaton United Payment	2,916.67
McCoyd 07362 Total *				2,916.67
McDonald TMP368	168723	20-000-000-20-2025-0000	Wide Horizons Old 2 Refund	598.00
McDonald TMP368 Total *				598.00
Meger 06495	260355	10-419-000-54-5432-0000	Mileage Reimbursement for IPRA Conference	36.83
Meger 06495 Total *				36.83
MENARDS GLENDALE HEIGHTS 00617	260453	40-000-188-57-5701-0000	Sensory Kiosk	54.80
	260538	40-000-188-57-5701-0000	Play for All Fence	524.25
MENARDS GLENDALE HEIGHTS 00617 Total *				579.05
MENARDS WEST CHICAGO 00615	260539	10-101-000-53-5314-0000	Carpentry Supplies	144.76
	260539	60-000-000-53-5313-0000	Inv# 35826	85.83
	260539	60-000-000-53-5313-0000	Inv# 35879	114.83
	260598	40-000-188-57-5701-0000	Lions Kiosk	37.62
	260598	40-000-188-57-5701-0000	PFA Fence	1,200.04
MENARDS WEST CHICAGO 00615 Total *				1,583.08
Miller 07809	260454	20-220-204-52-5280-4457	Wheaton United Payment	166.67

Vendor Name and #	Check #	GL Account Number	Description	Invoice Amounts
Miller 07809 Total *				166.67
Morton Salt, Inc. 07579	260540	40-101-000-53-5302-0000	Road Salt	1,848.16
Morton Salt, Inc. 07579 Total *				1,848.16
Mr. Duct, Inc. 06361	260455	20-101-220-52-5210-0000	Duct Cleaning	740.00
Mr. Duct, Inc. 06361 Total *				740.00
NAPA 02796	260356	10-101-000-53-5315-0000	Filter for Stock	16.33
	260356	10-101-000-53-5315-0000	PSC 74666 Truck 1189	51.02
	260356	10-101-000-53-5315-0000	PSC 74675 Truck 1187	9.17
	260356	10-101-000-53-5315-0000	PSC 74724 Ice 4	24.57
	260356	10-101-000-53-5315-0000	PSC 74731 Equipment 1363	151.86
	260356	10-101-000-53-5315-0000	PSC 747417 Truck 116	31.55
	260356	10-101-000-53-5315-0000	PSC 74796 Equipment 1193	221.19
	260356	10-101-000-53-5315-0000	Spark Plugs	45.88
	260356	10-101-000-53-5315-0000	Stock	32.66
	260356	10-101-000-53-5315-0000	Truck 1154 Blades	28.18
	260356	10-101-000-53-5348-0000	Rust Cleaner	26.10
NAPA 02796 Total *				638.51
NAPCO STEEL INC. 00655	260456	10-101-000-53-5311-0000	Shop Trench Drain	155.45
NAPCO STEEL INC. 00655 Total *				155.45
Naperville Yard Corporation 05756	260357	20-220-204-52-5280-4457	Wheaton United Winter Rental Payment 3 of 4	10,735.00
Naperville Yard Corporation 05756 Total *				10,735.00
Narrajós 07635	260358	20-224-220-54-5422-0000	Mileage Reimbursement for January 2026	34.80
Narrajós 07635 Total *				34.80
National Engravers Inc 03719	260457	20-224-220-53-5330-0000	Name Tags	340.00
	260457	20-350-302-53-5302-0000	Name Tags	89.00
National Engravers Inc 03719 Total *				429.00
NCPERS - IL IMRF - 0817 00671	260541	10-000-000-21-2130-0000	02-2026 NCPERS	96.00
NCPERS - IL IMRF - 0817 00671 Total *				96.00
Nielson 07757	260458	20-220-204-52-5280-4457	Wheaton United Payment	666.67
Nielson 07757 Total *				666.67
North American Corporation of Illinois, LLC 07628	260459	20-101-220-53-5316-0000	Paper Towels & Toilet Paper	788.00
	260542	10-101-000-53-5313-1904	Custodial Paper Products	45.97
	260542	10-101-000-53-5316-0000	Custodial Paper Products	114.97
	260542	10-101-854-53-5316-0000	Custodial Paper Products	45.99
	260542	10-101-856-53-5316-0000	Custodial Paper Products	68.98
	260542	20-101-000-53-5313-0000	Custodial Paper Products	45.99
	260542	20-101-112-53-5313-0000	Custodial Paper Products	68.98
	260542	20-101-220-53-5316-0000	Custodial Paper Products	22.99
	260542	20-101-225-53-5316-0000	Custodial Paper Products	45.99
North American Corporation of Illinois, LLC 07628 Total *				1,247.86
Northern Illinois Gas Company 00680	260359	20-224-220-52-5261-0000	Community Center 121025-011326	178.56
	260543	10-000-856-52-5261-0000	855 Prairie 011026-021126	217.27
	260543	10-101-000-52-5261-0000	Parks & Planning 011026-021126	3,097.13
	260543	20-000-000-52-5261-0000	Memorial Park Bandshell 011326-021326	275.58
	260543	20-000-000-52-5261-0000	Rathje Park 011026-021126	221.35
	260543	20-000-000-52-5261-0000	Toohey Park 010926-021126	689.67
	260543	20-222-231-52-5261-0000	Northside Pool 011326-021326	564.50
	260543	20-224-234-52-5261-0000	Blanchard Building 010926-021026	1,283.23

Vendor Name and #	Check #	GL Account Number	Description	Invoice Amounts
Northern Illinois Gas Company 00680	260543	60-000-000-52-5261-0000	AGC Maintenance Building 011026-021126	1,214.95
	260599	10-000-856-52-5261-0000	855 Prairie 011526-021726	864.45
	260599	20-000-304-52-5261-0000	Mary Lubko Center 011326-021326	422.27
	260599	20-000-304-52-5261-0000	Mary Lubko Center 121225-011326	340.14
	260599	22-501-000-52-5261-0000	Cosley Welcome Center 011526-021726	142.91
	260599	22-501-000-52-5261-0000	Cosley Zoo 011526-021726	852.03
Northern Illinois Gas Company 00680 Total *				10,364.04
ODP Business Solutions LLC 07149	260544	10-000-000-53-5302-0000	Office Supplies	236.46
ODP Business Solutions LLC 07149 Total *				236.46
Oker 07116	260460	20-220-204-52-5280-4457	Wheaton United Payment	3,166.67
Oker 07116 Total *				3,166.67
Onvoy, LLC 06228	260360	10-000-000-52-5262-0000	Admin 020126-022826	50.80
	260360	10-101-000-52-5262-0000	Parks 020126-022826	156.17
	260360	10-418-000-52-5262-0000	HR 020126-022826	33.87
	260360	10-419-000-52-5262-0000	Finance 020126-022826	120.42
	260360	10-430-000-52-5262-0000	DCHM 020126-022826	22.58
	260360	20-000-000-52-5262-0000	Rec Dept 020126-022826	35.75
	260360	20-000-112-52-5262-0000	Lincoln Marsh 020126-022826	73.39
	260360	20-000-304-52-5262-0000	Mary Lubko Center 020126-022826	47.04
	260360	20-000-415-52-5262-0000	Marketing 020126-022826	50.80
	260360	20-101-000-52-5262-0000	CC Maintenance 020126-022826	11.29
	260360	20-220-000-52-5262-0000	Programs 020126-022826	65.86
	260360	20-220-203-52-5262-0000	Athletics 020126-022826	47.04
	260360	20-220-204-52-5262-0000	Leagues 020126-022826	57.39
	260360	20-222-231-52-5262-0000	Northside Pool 020126-022826	48.92
	260360	20-222-232-52-5262-0000	Rice Pool 020126-022826	65.86
	260360	20-224-220-52-5262-0000	Community Center 020126-022826	199.45
	260360	20-350-302-52-5262-0000	Parks Plus Fitness 020126-022826	80.90
	260360	20-350-303-52-5262-0000	Clocktower Commons 020126-022826	20.70
	260360	22-501-000-52-5262-0000	Cosley 020126-022826	174.98
	260360	40-101-000-52-5262-0000	Planning 020126-022826	33.87
	260360	60-000-000-52-5262-0000	Golf Admin 020126-022826	12.23
	260360	60-000-415-52-5262-0000	Marketing 020126-022826	54.57
	260360	60-601-000-52-5262-0000	Golf Maintenance 020126-022826	35.75
	260360	60-611-000-52-5262-0000	Golf 020126-022826	112.89
	260360	60-612-901-52-5262-0000	Banquet 020126-022826	126.06
	260360	60-612-902-52-5262-0000	Restaurant 020126-022826	120.42
	260360	60-613-000-52-5262-0000	Ski 020126-022826	11.29
	260360	70-000-000-52-5262-0000	IS&T 020126-022826	11.29
	260600	10-000-000-52-5262-0000	Admin 030126-033126	50.80
	260600	10-101-000-52-5262-0000	Parks 030126-033126	156.17
	260600	10-418-000-52-5262-0000	HR 030126-033126	33.87
	260600	10-419-000-52-5262-0000	Finance 030126-033126	120.42
	260600	10-430-000-52-5262-0000	DCHM 030126-033126	22.58
	260600	20-000-000-52-5262-0000	Rec Dept 030126-033126	35.75
	260600	20-000-112-52-5262-0000	Lincoln Marsh 030126-033126	73.39
	260600	20-000-304-52-5262-0000	Mary Lubko Center 030126-033126	47.04
	260600	20-000-415-52-5262-0000	Marketing 030126-033126	50.80

Vendor Name and #	Check #	GL Account Number	Description	Invoice Amounts	
Onvoy, LLC 06228	260600	20-101-000-52-5262-0000	CC Maintenance 030126-033126	11.29	
	260600	20-220-000-52-5262-0000	Programs 030126-033126	65.86	
	260600	20-220-203-52-5262-0000	Athletics 030126-033126	47.04	
	260600	20-220-204-52-5262-0000	Leagues 030126-033126	57.39	
	260600	20-222-231-52-5262-0000	Northside Pool 030126-033126	48.92	
	260600	20-222-232-52-5262-0000	Rice Pool 030126-033126	65.86	
	260600	20-224-220-52-5262-0000	Community Center 030126-033126	199.45	
	260600	20-350-302-52-5262-0000	Parks Plus Fitness 030126-033126	80.90	
	260600	20-350-303-52-5262-0000	Clocktower Commons 030126-033126	20.70	
	260600	22-501-000-52-5262-0000	Cosley 030126-033126	174.98	
	260600	40-101-000-52-5262-0000	Planning 030126-033126	33.87	
	260600	60-000-000-52-5262-0000	Golf Admin 030126-033126	12.23	
	260600	60-000-415-52-5262-0000	Marketing 030126-033126	54.57	
	260600	60-601-000-52-5262-0000	Golf Maintenance 030126-033126	35.75	
	260600	60-611-000-52-5262-0000	Golf 030126-033126	112.89	
	260600	60-612-901-52-5262-0000	Banquet 030126-033126	126.06	
	260600	60-612-902-52-5262-0000	Restaurant 030126-033126	120.42	
	260600	60-613-000-52-5262-0000	Ski 030126-033126	11.29	
	260600	70-000-000-52-5262-0000	IS&T 030126-033126	11.29	
	Onvoy, LLC 06228 Total *				3,763.16
	Paddock Publications Inc 00718	260361	40-000-000-54-5428-0000	Bid Notices for Briar Patch/Prairie/Seven Gables	446.20
		260545	40-000-000-54-5428-0000	Bid Notice Atten Pickleball/Seven Gables	317.40
Paddock Publications Inc 00718 Total *				763.60	
Paddock Publications Inc 00719	260461	10-000-000-54-5425-0000	Museum Subscription	349.40	
Paddock Publications Inc 00719 Total *				349.40	
Parente 07592	260462	20-220-204-52-5280-4457	Wheaton United Payment	1,500.00	
Parente 07592 Total *				1,500.00	
Park District Risk Mgmt Agency 00725	260362	23-000-000-52-5270-0000	Property Ins Premium - January 2026	14,492.16	
	260362	23-000-000-52-5271-0000	Public Liability Ins Premium - January 2026	11,817.22	
	260362	23-000-000-52-5273-0000	Worker's Comp Ins Premium - January 2026	28,714.88	
	260362	23-000-000-52-5276-0000	Employment Practice Ins Premium - January 2026	3,475.59	
	260362	23-000-000-52-5277-0000	Pollution Liability Ins Premium - January 2026	13.15	
	260362	23-000-000-52-5279-0000	Cyber Ins Premium - January 2026	976.08	
Park District Risk Mgmt Agency 00725 Total *				59,489.08	
Parts Town 02265	260363	60-000-000-54-5441-0000	Inv# 2107935577	212.40	
Parts Town 02265 Total *				212.40	
Paylocity Corporation 06279	0	10-000-000-52-5211-0000	02/06/2026 Payroll Processing	1,395.13	
	0	10-000-000-52-5211-0000	02/20/2026 Payroll Processing	782.91	
	0	20-000-000-52-5211-0000	02/06/2026 Payroll Processing	4,484.33	
	0	20-000-000-52-5211-0000	02/20/2026 Payroll Processing	2,516.48	
	0	22-000-000-52-5211-0000	02/06/2026 Payroll Processing	498.26	
	0	22-000-000-52-5211-0000	02/20/2026 Payroll Processing	279.61	
	0	60-000-000-52-5211-0000	02/06/2026 Payroll Processing	3,587.46	
	0	60-000-000-52-5211-0000	02/20/2026 Payroll Processing	2,013.18	
Paylocity Corporation 06279 Total *				15,557.36	
Paymerang LLC 07740	260463	10-000-000-52-5239-0000	01/26 Paymerang Fees	144.29	
	260463	20-000-000-52-5239-0000	01/26 Paymerang Fees	284.45	
	260463	22-501-000-52-5239-0000	01/26 Paymerang Fees	61.84	

Vendor Name and #	Check #	GL Account Number	Description	Invoice Amounts
Paymerang LLC 07740	260463	60-612-000-52-5239-0000	01/26 Paymerang Fees	333.92
Paymerang LLC 07740 Total *				824.50
Peerless Network Inc 06542	260464	10-000-000-52-5262-0000	Admin 021526-031426	245.64
	260464	20-000-000-52-5262-0000	Recreation 021526-031426	272.93
	260464	22-501-000-52-5262-0000	Cosley 021526-031426	54.59
	260464	60-000-000-52-5262-0000	AGC 021526-031426	109.17
Peerless Network Inc 06542 Total *				682.33
Pendelton Turf Supply Inc 05328	260546	60-601-000-53-5335-0000	4.5 Select Thiophanate-Methyl	812.40
	260546	60-601-000-53-5335-0000	Bifenthrin	220.00
	260546	60-601-000-53-5335-0000	Paclobutrazole	4,400.00
	260546	60-601-000-53-5335-0000	Propiconazole	1,320.00
	260546	60-601-000-53-5335-0000	Trinexapac-Ethyl	1,760.00
Pendelton Turf Supply Inc 05328 Total *				8,512.40
Pentzien 07113	260465	20-220-204-52-5280-4457	Wheaton United Payment	2,333.33
Pentzien 07113 Total *				2,333.33
Performance Chemical & Supply 05540	260466	10-101-856-53-5316-0000	Vacuum and Vacuum Bags	921.73
	260466	20-101-220-52-5210-0000	Service Repair of Tornado Scrubber	554.72
	260466	20-101-220-53-5316-0000	Squeegees	334.54
	260466	20-101-220-53-5316-0000	Vacuum and Vacuum Bags	671.73
	260466	20-101-225-53-5316-0000	Vacuum Bags	24.82
	260601	20-101-220-53-5316-0000	Tile and Grout Renovator	337.83
	260601	20-101-225-53-5316-0000	Tile and Grout Renovator	337.82
Performance Chemical & Supply 05540 Total *				3,183.19
Pickett 07851	260364	10-101-000-54-5432-0000	IPRA Conference-Parking Pass Reimbursement	82.42
Pickett 07851 Total *				82.42
Pinkelman 07699	260467	20-220-112-53-5301-6610	Mileage Reimbursement January 2026	8.70
Pinkelman 07699 Total *				8.70
Porter Pipe & Supply Company Inc 00082	260468	40-800-822-53-5301-0000	LM Solar Lights	1,127.36
Porter Pipe & Supply Company Inc 00082 Total *				1,127.36
Potts 07126	260469	20-220-204-52-5280-4457	Wheaton United Payment	2,891.67
Potts 07126 Total *				2,891.67
Power Up Batteries LLC. 04109	260602	10-101-000-53-5315-0000	PSC 75077 Equipment 1141	189.95
Power Up Batteries LLC. 04109 Total *				189.95
Pre-Paid Legal Services Inc 00766	0	10-000-000-21-2127-0000	02/26 Pre-Paid Legal	280.62
Pre-Paid Legal Services Inc 00766 Total *				280.62
Prestige Flag 05817	260365	60-601-000-53-5342-0000	Golf Flags	2,742.06
	260470	60-601-000-53-5342-0000	7 Foot Woody Flag Pole	132.00
Prestige Flag 05817 Total *				2,874.06
Production Plus Graphics Inc 00864	260366	10-101-000-53-5314-0000	Sign Shop Supplies	118.50
	260547	10-101-000-53-5314-0000	Sign Shop Supplies	1,570.10
Production Plus Graphics Inc 00864 Total *				1,688.60
Progressive Tree Service 07746	260548	60-601-000-54-5419-0000	Selective Pruning	2,780.00
Progressive Tree Service 07746 Total *				2,780.00
Quadient Finance USA Inc. 04896	260549	10-000-000-53-5304-0000	Funded Postage at Prairie 7900044036659674	1,000.00
Quadient Finance USA Inc. 04896 Total *				1,000.00
Rafferty 07134	260471	20-220-204-52-5280-4457	Wheaton United Payment	1,166.67
Rafferty 07134 Total *				1,166.67
Rahmouni 07123	260472	20-220-204-52-5280-4457	Wheaton United Payment	2,741.67

Vendor Name and #	Check #	GL Account Number	Description	Invoice Amounts
Rahmouni 07123 Total *				2,741.67
Range Servant America Inc. 04956	260367	60-611-912-53-5342-0000	6 Range Mat Replacements	3,051.00
Range Servant America Inc. 04956 Total *				3,051.00
Rapley 07124	260473	20-220-204-52-5280-4457	Wheaton United Payment	1,416.67
Rapley 07124 Total *				1,416.67
Redlok Productions Inc 09534	260550	20-221-221-52-5285-0000	Cheer Competition Account 88969 Chicago Nationals	60.00
	260550	20-221-221-52-5285-0000	Cheer Competition Account 88969 Deuces Wild	60.00
	260550	20-221-221-52-5285-0000	Cheer Competition Account 88969 Sweetheart Showdown	60.00
Redlok Productions Inc 09534 Total *				180.00
Reinders Inc 00792	260603	10-101-000-53-5306-0000	PSC 74980 Equipment 1372	326.86
Reinders Inc 00792 Total *				326.86
Reliable Fire Equipment Co. 06999	260551	60-000-000-52-5263-0000	Inv# 145575	588.00
	260551	60-000-000-52-5263-0000	Inv# 145576	588.00
	260551	60-000-000-52-5263-0000	Inv# 145588	720.00
	260551	60-000-000-52-5263-0000	Inv# 145589	720.00
	260551	60-000-000-54-5441-0000	Inv# 145056	475.00
Reliable Fire Equipment Co. 06999 Total *				3,091.00
Republic National Distributing Company of Illinois 02263	168742	60-000-000-14-1412-0000	Inv# 3226895 Wine	480.00
Republic National Distributing Company of Illinois 02263 Total *				480.00
Restaurant Service Equipment Group/ Ice Town 07677	260474	22-501-000-52-5220-0000	Ice Machine Rental February 2026	50.00
Restaurant Service Equipment Group/ Ice Town 07677 Total *				50.00
Restaurant Technologies Inc 07420	260552	60-612-902-53-5388-0000	Inv# 30942550 Restaurant Oil	807.54
Restaurant Technologies Inc 07420 Total *				807.54
Rivera 07125	260475	20-220-204-52-5280-4457	Wheaton United Payment	2,083.33
Rivera 07125 Total *				2,083.33
Robinson Wholesale Bait LLC 07856	260368	22-501-000-53-5339-0000	Fish for Feed	249.00
Robinson Wholesale Bait LLC 07856 Total *				249.00
Rock n Kids Inc. 03507	260553	20-220-207-52-5280-7739	Music Class 01/12/26-02/09/26	1,015.00
Rock n Kids Inc. 03507 Total *				1,015.00
Roe 07145	260476	20-220-204-52-5280-4457	Wheaton United Payment	1,658.33
Roe 07145 Total *				1,658.33
Russo 07340	260477	20-220-204-52-5280-4457	Wheaton United Payment	1,083.33
Russo 07340 Total *				1,083.33
Russo Hardware Inc 00825	260554	10-101-000-53-5315-0000	PSC 74567	66.99
	260554	10-101-000-53-5315-0000	PSC 74998	19.99
	260554	10-101-000-53-5315-0000	PSC 75017	76.96
	260604	10-101-000-53-5315-0000	PSC 75066 Equipment 2911	229.98
Russo Hardware Inc 00825 Total *				393.92
Rychenkov 07233	260478	20-220-204-52-5280-4457	Wheaton United Payment	2,500.00
Rychenkov 07233 Total *				2,500.00
SANTO SPORT STORE 00838	260369	20-221-223-53-5306-0000	BBSB Bid	1,736.64
	260479	20-221-223-53-5306-0000	BBSB Bid Equipment	5,693.53
SANTO SPORT STORE 00838 Total *				7,430.17
Saviano 07179	260555	20-221-221-52-5285-0000	Cheer Wristband Reimbursement	90.00
Saviano 07179 Total *				90.00
SBRK Finance Holding, Inc. 00888	260370	70-000-000-52-5240-0000	Springbrook Annual Subscription	25,382.89
SBRK Finance Holding, Inc. 00888 Total *				25,382.89
Schamberger Bros. Inc. 00841	168724	60-000-000-14-1412-0000	Inv# 100187956 Beer	225.40

Vendor Name and #	Check #	GL Account Number	Description	Invoice Amounts
Schamberger Bros. Inc. 00841 Total *				225.40
Sebert Landscaping 07436	260605	10-101-000-52-5211-0000	October 2025 Lawn Service	1,509.66
Sebert Landscaping 07436 Total *				1,509.66
Selvaggio 07329	260480	20-220-204-52-5280-4457	Wheaton United Payment	2,900.00
Selvaggio 07329 Total *				2,900.00
Service Lighting & Electrical Supplies 05958	260556	10-101-000-53-5312-0000	Flood Light Fixtures	170.77
Service Lighting & Electrical Supplies 05958 Total *				170.77
Sheppard 07135	260481	20-220-204-52-5280-4457	Wheaton United Payment	2,333.33
Sheppard 07135 Total *				2,333.33
Sherwin-Williams 00858	260371	60-000-000-53-5311-0000	Inv# 47936101220226	171.40
	260557	20-101-234-53-5313-0000	Paint Supplies	62.84
Sherwin-Williams 00858 Total *				234.24
SIMPSON 05468	260482	10-419-000-54-5432-0000	IPRA Conference Meal - Director of Finance	7.60
	260482	10-419-000-54-5432-0000	IPRA Conference Mileage - Director of Finance	75.40
SIMPSON 05468 Total *				83.00
Slaven 06253	260483	20-220-112-53-5301-6610	Mileage Reimbursement for 02/09/26	8.70
	260483	20-220-112-53-5301-6610	Mileage Reimbursement for January 2026	15.37
Slaven 06253 Total *				24.07
Soccer Speed LLC 07600	260484	20-220-204-52-5280-4457	Wheaton United Winter Training	14,850.00
Soccer Speed LLC 07600 Total *				14,850.00
Southern Glazer's Wine And Spirits, LLC 00874	168725	60-000-000-14-1412-0000	Inv# 2160258 Liquor	293.23
	168730	60-000-000-14-1412-0000	Inv# 2169104 Liquor	316.26
	168737	60-000-000-14-1412-0000	Inv# 2186771 Liquor	614.20
Southern Glazer's Wine And Spirits, LLC 00874 Total *				1,223.69
Speer Financial Inc 00879	260558	30-000-000-20-2010-0000	2025 GO Bond Issuance Fees from Municipal Advisor	9,200.00
Speer Financial Inc 00879 Total *				9,200.00
SpotOn 05134	0	60-612-000-52-5239-0000	01/26 SpotOn CC Fees	2,843.01
	0	70-000-000-52-5240-0000	03/26 SpotOn Cloud Fees	459.50
SpotOn 05134 Total *				3,302.51
Stajduhar 07748	260485	20-220-204-52-5280-4457	Wheaton United Payment	666.67
Stajduhar 07748 Total *				666.67
Standard Retirement Services Inc. 06874	0	10-000-000-21-2126-0000	02/06/26 Deferred Comp	5,867.87
	0	10-000-000-21-2126-0000	02/20/26 Deferred Comp	479.02
	0	10-000-000-21-2135-0000	02/06/26 Deferred Comp	437.50
	0	10-000-000-21-2135-0000	02/20/26 Deferred Comp	5,852.43
Standard Retirement Services Inc. 06874 Total *				12,636.82
Steiner Electric Company 05733	260559	10-101-854-53-5312-0000	Electrical Supplies	79.28
Steiner Electric Company 05733 Total *				79.28
Stuever & Sons Inc 00911	260372	60-612-000-52-5210-0000	Inv# 517358 Beer Line Cleaning	134.00
	260560	60-612-000-52-5210-0000	Inv# 520123 Beer Line Cleaning	104.00
	260606	60-612-000-54-5441-0000	Inv# 522118	974.00
Stuever & Sons Inc 00911 Total *				1,212.00
Swannies Golf Apparel Co 06528	260486	60-000-000-14-1431-0000	Mens and Womens Spring Order	2,904.00
Swannies Golf Apparel Co 06528 Total *				2,904.00
Swiss TMP372	168738	20-000-000-20-2025-0000	Dodgeball Refund	124.00
Swiss TMP372 Total *				124.00
Sysco-Chicago 02231	260373	60-000-000-14-1411-0000	Inv# 824957202 Meat	352.07

Vendor Name and #	Check #	GL Account Number	Description	Invoice Amounts
Sysco-Chicago 02231	260373	60-000-000-14-1411-0000	Inv# 824957204 Meat	88.46
	260373	60-000-000-14-1411-0000	Inv# 824957205 Meat	105.90
	260373	60-000-000-14-1411-0000	Inv# 824961018 Meat	186.95
	260373	60-000-000-14-1411-0000	Inv# 824970957 Meat	1,596.84
	260373	60-000-000-14-1411-0000	Inv# 824970959 Meat	963.64
	260373	60-000-000-14-1414-0000	Inv# 824957205 Dairy	24.48
	260373	60-000-000-14-1414-0000	Inv# 824957206 Dairy	64.37
	260373	60-000-000-14-1414-0000	Inv# 824961020 Dairy	168.50
	260373	60-000-000-14-1414-0000	Inv# 824970957 Dairy	302.31
	260373	60-000-000-14-1414-0000	Inv# 824970959 Dairy	61.45
	260373	60-000-000-14-1414-0000	Inv# 824970960 Dairy	431.84
	260373	60-000-000-14-1415-0000	CM# 924943947	(37.56)
	260373	60-000-000-14-1415-0000	Inv# 824930263 General Grocery	35.94
	260373	60-000-000-14-1415-0000	Inv# 824957202 General Grocery	70.90
	260373	60-000-000-14-1415-0000	Inv# 824957204 General Grocery	25.87
	260373	60-000-000-14-1415-0000	Inv# 824957205 General Grocery	799.13
	260373	60-000-000-14-1415-0000	Inv# 824961017 General Grocery	112.08
	260373	60-000-000-14-1415-0000	Inv# 824961018 General Grocery	823.44
	260373	60-000-000-14-1415-0000	Inv# 824970957 General Grocery	660.62
	260373	60-000-000-14-1415-0000	Inv# 824970958 General Grocery	84.55
	260373	60-000-000-14-1415-0000	Inv# 824970959 General Grocery	498.83
	260373	60-000-000-14-1416-0000	Inv# 824961019 Non-Alcoholic Beverages	374.22
	260373	60-612-000-53-5316-0000	CM# 824974345	(114.61)
	260373	60-612-000-53-5316-0000	Inv# 824957203 Cleaning Supplies	422.55
	260373	60-612-000-53-5316-0000	Inv# 824957207 Cleaning Supplies	182.05
	260373	60-612-000-53-5316-0000	Inv# 824961021 Cleaning Supplies	96.21
	260373	60-612-000-53-5316-0000	Inv# 824970961 Cleaning Supplies	136.07
	260373	60-612-902-53-5388-0000	Inv# 824953115 Restaurant Supplies	99.94
	260373	60-612-902-53-5388-0000	Inv# 824956785 Restaurant Supplies	241.95
	260487	60-000-000-14-1411-0000	Inv# 824975439 Meat	65.91
	260487	60-000-000-14-1411-0000	Inv# 824978877 Meat	364.75
	260487	60-000-000-14-1411-0000	Inv# 824989457 Meat	804.10
	260487	60-000-000-14-1414-0000	Inv# 824989458 Dairy	474.48
	260487	60-000-000-14-1414-0000	Inv# 824975441 Dairy	46.67
	260487	60-000-000-14-1414-0000	Inv# 824978877 Dairy	28.04
	260487	60-000-000-14-1415-0000	Inv# 824975437 General Grocery	195.67
	260487	60-000-000-14-1415-0000	Inv# 824975438 General Grocery	195.83
	260487	60-000-000-14-1415-0000	Inv# 824975439 General Grocery	480.06
	260487	60-000-000-14-1415-0000	Inv# 824978877 General Grocery	893.77
	260487	60-000-000-14-1415-0000	Inv# 824989457 General Grocery	836.61
	260487	60-000-000-14-1415-0000	Inv# 824989459 General Grocery	99.92
	260487	60-612-000-53-5316-0000	Inv# 824975440 Cleaning Supplies	195.01
	260487	60-612-000-53-5316-0000	Inv# 824978878 Cleaning Supplies	197.81
	260487	60-612-902-53-5388-0000	Inv# 824975440 Restaurant Supplies	157.18
	260487	60-612-902-53-5388-0000	Inv# 824989457 Restaurant Supplies	20.46
	260561	60-000-000-14-1411-0000	Inv# 824991571 Meat	703.33
	260561	60-000-000-14-1411-0000	Inv# 824992627 Meat	702.21
	260561	60-000-000-14-1411-0000	Inv# 824994662 Meat	1,354.35

Vendor Name and #	Check #	GL Account Number	Description	Invoice Amounts	
Sysco-Chicago 02231	260561	60-000-000-14-1411-0000	Inv# 824994663 Meat	352.94	
	260561	60-000-000-14-1411-0000	Inv# 924008342 Meat	94.96	
	260561	60-000-000-14-1411-0000	Inv# 924008345 Meat	877.61	
	260561	60-000-000-14-1414-0000	Inv# 824991571 Dairy	24.48	
	260561	60-000-000-14-1414-0000	Inv# 824994664 Dairy	463.90	
	260561	60-000-000-14-1414-0000	Inv# 834991572 Dairy	393.06	
	260561	60-000-000-14-1414-0000	Inv# 924008345 Dairy	48.96	
	260561	60-000-000-14-1414-0000	Inv# 924008347 Dairy	501.45	
	260561	60-000-000-14-1415-0000	Inv# 824991571 General Grocery	1,000.85	
	260561	60-000-000-14-1415-0000	Inv# 824992627 General Grocery	95.19	
	260561	60-000-000-14-1415-0000	Inv# 824994661 General Grocery	124.34	
	260561	60-000-000-14-1415-0000	Inv# 8249946623 General Grocery	63.15	
	260561	60-000-000-14-1415-0000	Inv# 824994665 General Grocery	82.44	
	260561	60-000-000-14-1415-0000	Inv# 824994666 General Grocery	189.77	
	260561	60-000-000-14-1415-0000	Inv# 824994667 General Grocery	237.79	
	260561	60-000-000-14-1415-0000	Inv# 924008342 General Grocery	606.96	
	260561	60-000-000-14-1415-0000	Inv# 924008343 General Grocery	74.09	
	260561	60-000-000-14-1415-0000	Inv# 924008344 General Grocery	56.84	
	260561	60-000-000-14-1415-0000	Inv# 924008345 General Grocery	1,179.92	
	260561	60-000-000-14-1415-0000	Inv# 924008348 General Grocery	180.64	
	260561	60-000-000-14-1416-0000	Inv# 824991571 Non-Alcoholic Beverages	374.22	
	260561	60-000-000-14-1416-0000	Inv# 824994665 Non-Alcoholic Beverages	615.90	
	260561	60-000-000-53-5316-0000	Inv# 924008349 Custodial Supplies	1,092.11	
	260561	60-612-000-53-5316-0000	Inv# 824994665 Cleaning Supplies	254.21	
	260561	60-612-000-53-5316-0000	Inv# 924008344 Cleaning Supplies	54.57	
	260561	60-612-000-53-5316-0000	Inv# 924008346 Cleaning Supplies	476.00	
	260607	60-000-000-14-1411-0000	Inv# 924009932 Meat	377.19	
	260607	60-000-000-14-1411-0000	Inv# 924013545 Meat	628.10	
	260607	60-000-000-14-1411-0000	Inv# 924013548 Meat	794.39	
	260607	60-000-000-14-1411-0000	Inv# 924024078 Meat	1,190.51	
	260607	60-000-000-14-1414-0000	Inv# 924009933 Dairy	285.01	
	260607	60-000-000-14-1414-0000	Inv# 924013545 Dairy	272.57	
	260607	60-000-000-14-1414-0000	Inv# 924013546 Dairy	331.68	
	260607	60-000-000-14-1414-0000	Inv# 924024076 Dairy	122.56	
	260607	60-000-000-14-1414-0000	Inv# 924024077 Dairy	527.12	
	260607	60-000-000-14-1415-0000	Inv# 924009932 General Grocery	668.95	
	260607	60-000-000-14-1415-0000	Inv# 924013545 General Grocery	871.75	
	260607	60-000-000-14-1415-0000	Inv# 924013548 General Grocery	1,386.12	
	260607	60-000-000-14-1415-0000	Inv# 924024075 General Grocery	277.74	
	260607	60-000-000-14-1415-0000	Inv# 924024076 General Grocery	45.16	
	260607	60-000-000-14-1415-0000	Inv# 924024078 General Grocery	1,036.24	
	260607	60-000-000-14-1416-0000	Inv# 924024078 Non-Alcoholic Beverages	125.19	
	260607	60-000-000-14-1416-0000	Inv# 924024079 Non-Alcoholic Beverages	614.40	
	260607	60-612-000-53-5316-0000	Inv# 924013547 Cleaning Supplies	270.37	
	260607	60-612-000-53-5316-0000	Inv# 924024079 Cleaning Supplies	317.37	
	Sysco-Chicago 02231 Total *				36,333.92
	Tatnall 07346	260488	20-220-204-52-5280-4457	Wheaton United Payment	1,916.67
Tatnall 07346 Total *				1,916.67	

Vendor Name and #	Check #	GL Account Number	Description	Invoice Amounts
Terranova 07128	260489	20-220-204-52-5280-4457	Wheaton United Payment	1,000.00
Terranova 07128 Total *				1,000.00
Texas Life Insurance Company 03829	0	10-000-000-21-2130-0000	Texas Life Insurance February 2026	171.72
Texas Life Insurance Company 03829 Total *				171.72
THE ANTIGUA GROUP INC 00948	260562	60-000-000-14-1431-0000	Mens and Womens PGA Show Order	1,261.94
THE ANTIGUA GROUP INC 00948 Total *				1,261.94
The Perfect Swing Inc. 05234	260374	20-221-223-53-5306-0000	Baseball Softball Equipment	3,516.44
	260374	20-221-223-53-5306-0000	TPS Sports BBSB Bid	21,678.44
The Perfect Swing Inc. 05234 Total *				25,194.88
Thom 07146	260490	20-220-204-52-5280-4457	Wheaton United Payment	416.67
Thom 07146 Total *				416.67
Three Level Basketball LLC 07493	260491	20-220-204-52-5280-4445	Basketball Training 01/19/26-01/23/26	1,500.00
	260491	20-220-204-52-5280-4445	Basketball Training 01/26/26-01/30/26	1,725.00
Three Level Basketball LLC 07493 Total *				3,225.00
Titleist 00956	260492	60-000-000-14-1431-0000	Spring Glove Order	5,080.32
	260492	60-000-000-14-1431-0000	Credit on Softgoods Inventory	(551.25)
Titleist 00956 Total *				4,529.07
Toro Company - NSN 00962	260493	60-601-000-52-5210-0000	Toro NSN Irrigation 2 Year Contract 2026 and 2027	4,840.00
Toro Company - NSN 00962 Total *				4,840.00
Trebelhorn 07573	260494	20-220-204-52-5280-4457	Wheaton United Payment	2,166.67
Trebelhorn 07573 Total *				2,166.67
Tressler LLP 03481	260608	10-000-000-52-5207-0000	Services through 01/31/26	300.67
	260608	20-000-000-52-5207-0000	Services through 01/31/26	300.66
	260608	60-000-000-52-5207-0000	Services through 01/31/26	300.67
Tressler LLP 03481 Total *				902.00
TriMark Marlinn LLC 04419	260375	60-612-901-53-5390-0000	Inv# 3423820 Banquet Supplies	309.25
	260375	60-612-902-53-5388-0000	Inv# 3424799 Restaurant Supplies	1,195.83
	260563	60-612-901-53-5390-0000	Inv# 3428994 Banquet Supplies	627.89
	260563	60-612-901-53-5390-0000	Inv# 3428995 Banquet Supplies	283.10
	260563	60-612-901-53-5390-0000	Inv# 3430069 Banquet Supplies	226.32
	260563	60-612-902-53-5388-0000	Inv# 3428994 Restaurant Supplies	627.88
	260563	60-612-902-53-5388-0000	Inv# 3430069 Restaurant Supplies	408.14
	260609	60-612-901-53-5390-0000	Inv# 3432631 Banquet Supplies	55.26
	260609	60-612-902-53-5388-0000	Inv# 3431446 Restaurant Supplies	379.72
	260609	60-612-902-53-5388-0000	Inv# 3432631 Restaurant Supplies	263.56
TriMark Marlinn LLC 04419 Total *				4,376.95
Tumbling Times Inc. 06555	260376	20-220-203-52-5280-3304	Winter Session I	11,709.60
Tumbling Times Inc. 06555 Total *				11,709.60
Two Brothers Coffee Roasters 06900	260377	60-000-000-14-1416-0000	Inv# 31473 Non-Alcoholic Beverages	77.40
Two Brothers Coffee Roasters 06900 Total *				77.40
UMB Bank N.A. 04121	0	10-000-000-54-5401-0000	Driving Range Tour Luncheon	53.61
	0	10-000-000-54-5401-0000	Hyatt Lodging Charge to be Reversed	52.44
	0	10-000-000-54-5401-0000	IAPD Conf-Commissioner Valet Parking	30.67
	0	10-000-000-54-5401-0000	IPPD/IPRA Conf-Commissioner Hotel Room	104.87
	0	10-000-000-54-5425-0000	BMI 2026 Annual Dues	305.33
	0	10-000-000-54-5425-0000	SESAC Annual Dues for 2026	693.67
	0	10-000-000-54-5432-0000	Driving Range Tour Luncheon	53.63
	0	10-000-000-54-5432-0000	Ex Director IAPD Conference-Uber	9.94

Vendor Name and #	Check #	GL Account Number	Description	Invoice Amounts
UMB Bank N.A. 04121	0	10-000-000-54-5432-0000	IAPD Conf-Directors/Social Media Manager Breakfast	36.85
	0	10-000-000-54-5432-0000	IAPD Conference-Uber	14.10
	0	10-000-000-54-5432-0000	IAPD Conf-Ex Asst Breakfast	3.93
	0	10-000-000-54-5432-0000	IAPD Conf-Ex Asst Lunch	6.59
	0	10-000-000-54-5432-0000	IAPD Conf-Ex Asst/Asst Dir of AGC/Marketing Director Uber	17.04
	0	10-000-000-54-5432-0000	IAPD Conf-Ex Asst/Director of Marketing/As Dir of AGC Uber	3.74
	0	10-000-000-54-5432-0000	PGA Show-Meal	44.16
	0	10-000-000-54-5432-0000	PGA Show-Uber	7.15
	0	10-000-000-54-5434-0000	Ex Director & AGC Employee Meeting	7.00
	0	10-000-000-54-5438-0000	Candy for the Volunteer Mixer	23.33
	0	10-000-000-54-5438-0000	Donation for DuPage Foundation MLK Breakfast	83.33
	0	10-000-000-54-5438-0000	Photo from Walgreens for Plaque	20.47
	0	10-000-000-54-5438-0000	State of the City Luncheon Table	240.00
	0	10-000-000-54-5438-0000	WDSRA Bash Sponsorship	858.33
	0	10-000-415-53-5302-0000	Boxes for Carpet Installation	60.51
	0	10-000-415-53-5302-0000	Business Cards for Meeting Folders	21.99
	0	10-000-415-53-5302-0000	Charge for Stickers from Avery - Refund Due to Quality Issues	124.41
	0	10-000-415-53-5302-0000	Credit from Avery for Refund on Poor Quality Stickers	(124.41)
	0	10-000-415-53-5302-0000	Dry Cleaning Table Covers	25.25
	0	10-000-415-53-5302-0000	Engraved Plaque	47.38
	0	10-000-415-53-5302-0000	Meeting Folders from Amazon	67.53
	0	10-000-415-53-5302-0000	Notebooks	9.78
	0	10-000-415-53-5302-0000	Office Supplies from Amazon	35.27
	0	10-000-415-53-5302-0000	Round Sticker Labels	25.99
	0	10-000-415-54-5425-0000	Google Drive Monthly Fee	9.99
	0	10-000-415-54-5425-0000	Monthly Web Hosting through WPENGINE	850.00
	0	10-000-415-54-5425-0000	Soundcloud Subscription 01/08/26-02/08/26	16.00
	0	10-000-415-54-5426-0000	Annual Subscription for Program Guide Hosting at Calameo	294.00
	0	10-000-415-54-5432-0000	IAPD Conf-Directors/Social Media Manager Breakfast	36.85
	0	10-000-415-54-5432-0000	IAPD Conference-Meal	31.05
	0	10-000-415-54-5432-0000	IAPD Conf-Ex Asst/Asst Dir of AGC/Marketing Director Uber	11.71
	0	10-000-415-54-5432-0000	IAPD Conf-Ex Asst/Asst Director of AGC/Marketing Director Uber	5.33
	0	10-000-415-54-5432-0000	IAPD Conf-Ex Asst/Director of Marketing/As Dir of AGC Uber	3.72
	0	10-000-415-54-5432-0000	IPRA Conference-Lodging	314.60
	0	10-000-415-54-5432-0000	PGA Show-Meal	25.92
	0	10-000-415-54-5432-0000	PGA Show-Uber	7.14
	0	10-000-415-54-5438-0000	Frame	25.00
	0	10-000-416-52-5241-1908	REFUND - Runsignup - Superhero Fun Run Test Registration	(33.53)
	0	10-000-416-52-5241-1908	Runsignup - Superhero Fun Run Test Registration	33.53
	0	10-000-416-53-5346-1908	Permit for Superhero Fun Run	78.23
	0	10-000-856-53-5302-0000	Keys for File Cabinets	33.15
	0	10-000-856-53-5302-0000	Prairie Coffee Supply	144.90
	0	10-101-000-52-5210-0000	CAC Locks	166.00
	0	10-101-000-53-5302-0000	Breakroom Supplies	82.92
	0	10-101-000-53-5302-0000	Business Cards for PPF	35.98
	0	10-101-000-53-5302-0000	iPad Case/Office Supplies	73.17
	0	10-101-000-53-5302-0000	Ladder Return	(452.00)
	0	10-101-000-53-5302-0000	Plant Sale Supplies Refund	(17.99)

Vendor Name and #	Check #	GL Account Number	Description	Invoice Amounts
UMB Bank N.A. 04121	0	10-101-000-53-5302-0000	Step Ladders	452.00
	0	10-101-000-53-5302-0000	Step Stools	159.94
	0	10-101-000-53-5312-0000	Electrical Stock	1,134.05
	0	10-101-000-53-5313-0000	iPad Cover	28.49
	0	10-101-000-53-5313-0000	Tool Organizer	29.99
	0	10-101-000-53-5315-0000	PSC 74502 Equipment 1172	78.99
	0	10-101-000-53-5315-0000	PSC 74662 Equipment 1205	2,539.92
	0	10-101-000-53-5315-0000	PSC 74678 Equipment 1134	51.56
	0	10-101-000-53-5315-0000	PSC 74716 Equipment 1113	10.50
	0	10-101-000-53-5315-0000	PSC 74724 Ice 4	107.78
	0	10-101-000-53-5315-0000	PSC 74989 AE801	919.20
	0	10-101-000-53-5315-0000	PSC 79673 Ice 4	29.04
	0	10-101-000-53-5315-0000	Truck 1116 Windshield	400.00
	0	10-101-000-53-5316-0000	Cleaning Supplies	11.61
	0	10-101-000-53-5316-0000	Paper Towels	188.04
	0	10-101-000-53-5330-0000	N96 Masks	47.52
	0	10-101-000-53-5330-0000	Rubber Boots	37.98
	0	10-101-000-53-5334-0000	PSC Replacement Glides for Chairs	136.50
	0	10-101-000-53-5345-0000	Carpentry Tools	434.89
	0	10-101-000-53-5345-0000	Fire Extinguishers Seven Gables	139.94
	0	10-101-000-53-5345-0000	LED Work Light	159.96
	0	10-101-000-53-5345-0000	Pliers	63.14
	0	10-101-000-53-5345-0000	Tool Organizer	23.99
	0	10-101-000-53-5345-0000	Zipper Tool Pouches	50.93
	0	10-101-000-53-5347-0000	Paint Supplies	47.93
	0	10-101-000-53-5348-0000	iPass Replenish	40.00
	0	10-101-000-54-5432-0000	CPSI Training	714.00
	0	10-101-000-54-5432-0000	Driving Range Tour Luncheon	53.63
	0	10-101-000-54-5432-0000	Fundamentals of Playground Inspection	20.00
	0	10-101-000-54-5432-0000	IPRA Conference-Lodging	166.63
	0	10-101-000-54-5432-0000	IPRA Conference-Meal	8.00
	0	10-101-000-54-5432-0000	IPRA Conference-Metra	13.50
	0	10-101-000-54-5432-0000	IPRA Conference-Taxi	8.00
	0	10-101-000-54-5432-0000	IPRA Conference-Uber	28.91
	0	10-101-000-54-5432-0000	IPRA Conference-Uber Tip	2.00
	0	10-101-000-54-5432-0000	IPRA-Parking	110.24
	0	10-101-000-54-5432-0000	PDRMA Training Class	150.00
	0	10-101-000-54-5432-0000	Pesticide for Safety Training	95.00
	0	10-101-000-54-5432-0000	Pesticide Training Books	83.00
	0	10-101-000-54-5432-0000	Pesticide Training Workbooks	33.00
0	10-101-000-54-5432-0000	PGA Show-Meal	18.23	
0	10-101-856-53-5314-0000	Prairie Door	21.94	
0	10-101-856-53-5316-0000	Prairie Custodial Supplies	200.57	
0	10-101-856-53-5316-0000	Prairie Gojo Soap	70.76	
0	10-101-856-53-5316-0000	Prairie Smell Neutralizer	27.90	
0	10-101-856-53-5316-0000	Prairie Vacuum Parts	15.30	
0	10-418-000-54-5426-0000	Payroll and Finance Associate Job Posting IPRA	165.00	
0	10-418-000-54-5432-0000	IPRA Conference-Meal	36.85	

Vendor Name and #	Check #	GL Account Number	Description	Invoice Amounts
UMB Bank N.A. 04121	0	10-418-000-54-5432-0000	IPRA Conference-Uber	144.89
	0	10-419-000-54-5432-0000	GFOA Annual Conference	510.00
	0	10-419-000-54-5432-0000	IPRA Conference-Meal	96.28
	0	10-419-000-54-5432-0000	IPRA Conference-Parking	76.18
	0	10-419-000-54-5434-0000	IGFOA Job Posting for Payroll & Finance Associate	250.00
	0	10-430-000-42-4250-0000	Refund for Victorian Craft Kit- Duplicate Purchase	15.00
	0	10-430-000-53-5302-0000	Rugs for Entrance	220.00
	0	10-430-000-53-5302-1107	Acid Free Tissue Paper for Archives	88.48
	0	10-430-000-53-5302-1107	Photo Reproductions	52.38
	0	10-430-000-53-5302-1107	Photo Reproductions for Exhibit	64.80
	0	10-430-000-53-5302-1108	Pink Lemonade for Girl Scout Program	8.08
	0	10-430-000-53-5302-1108	Refreshments for Exhibit Reception	34.47
	0	20-000-000-12-1230-0000	Personal Charge in Error	30.00
	0	20-000-000-54-5401-0000	Hyatt Lodging Charge to be Reversed	52.43
	0	20-000-000-54-5401-0000	IAPD Conf-Commissioner Valet Parking	30.67
	0	20-000-000-54-5401-0000	IAPD/IPRA Conf-Commissioner Hotel Room	104.87
	0	20-000-000-54-5425-0000	BMI 2026 Annual Dues	305.33
	0	20-000-000-54-5425-0000	SESAC Annual Dues for 2026	693.67
	0	20-000-000-54-5432-0000	Ex Director IAPD Conference-Uber	9.94
	0	20-000-000-54-5432-0000	IAPD Conf-Directors/Social Media Manager Breakfast	36.85
	0	20-000-000-54-5432-0000	IAPD Conference-Uber	14.10
	0	20-000-000-54-5432-0000	IAPD Conf-Ex Asst Breakfast	3.93
	0	20-000-000-54-5432-0000	IAPD Conf-Ex Asst Lunch	6.59
	0	20-000-000-54-5432-0000	IAPD Conf-Ex Asst/Asst Dir of AGC/Marketing Director Uber	11.72
	0	20-000-000-54-5432-0000	IAPD Conf-Ex Asst/Asst Director of AGC/Marketing Director Uber	5.32
	0	20-000-000-54-5432-0000	IAPD Conf-Ex Asst/Director of Marketing/As Dir of AGC Uber	3.74
	0	20-000-000-54-5434-0000	Ex Director & AGC Employee Meeting	7.00
	0	20-000-000-54-5438-0000	Candy for the Volunteer Mixer	23.33
	0	20-000-000-54-5438-0000	Donation for DuPage Foundation MLK Breakfast	83.33
	0	20-000-000-54-5438-0000	Nametags for the Volunteer Mixer	10.40
	0	20-000-000-54-5438-0000	State of the City Luncheon Table	240.00
	0	20-000-000-54-5438-0000	WDSRA Bash Sponsorship	858.33
	0	20-000-112-53-5301-0000	Rathje Nature Lab Supplies	28.77
	0	20-000-112-53-5302-0000	Supplies	12.34
	0	20-000-112-53-5302-0000	Water/Cleaning Wand	7.49
	0	20-000-112-54-5425-0000	Annual Membership for Challenge Course Technology	371.00
	0	20-000-112-54-5425-0000	Annual Membership for Chicago Wilderness	100.00
	0	20-000-112-54-5426-0000	Marketing Supplies	571.70
	0	20-000-200-53-5306-0000	2nd Semester New Toys	77.18
	0	20-000-200-53-5306-0000	Classroom Semester Two New Toys	152.49
0	20-000-200-53-5306-0000	Sunnyside Room Semester Two New Toy Shopping	129.05	
0	20-000-200-54-5425-0000	American Camp Association Annual Dues	2,406.00	
0	20-000-200-54-5425-0000	Zoom 01/01/26-01/31/26	102.60	
0	20-000-200-54-5432-0000	District Dinner	970.48	
0	20-000-200-54-5432-0000	IPRA Conference-Coffee	6.65	
0	20-000-200-54-5432-0000	IPRA Conference-Dinner	134.29	
0	20-000-200-54-5432-0000	IPRA Conference-Lodging	127.22	
0	20-000-200-54-5432-0000	IPRA Conference-Lodgings	629.20	

Vendor Name and #	Check #	GL Account Number	Description	Invoice Amounts
UMB Bank N.A. 04121	0	20-000-200-54-5432-0000	IPRA Conference-Meal	47.19
	0	20-000-200-54-5432-0000	IPRA Conference-Tip for Uber Driver	5.00
	0	20-000-200-54-5432-0000	IPRA Conference-Uber	98.84
	0	20-000-200-54-5432-0000	IPRA Conference-Valet Parking	162.43
	0	20-000-205-54-5432-0000	Friday Snack at IPRA	7.31
	0	20-000-205-54-5432-0000	IPRA Conference-Uber	71.95
	0	20-000-205-54-5432-0000	IPRA Conference-Meal	387.44
	0	20-000-205-54-5432-0000	IPRA Conference-Taxi	8.50
	0	20-000-205-54-5432-0000	IPRA Conference-Uber	131.95
	0	20-000-205-54-5432-0000	Thursday Lunch at IPRA	132.40
	0	20-000-304-52-5235-0000	Business Cards for MLC Staff	80.97
	0	20-000-304-53-5302-0000	Canva Graphic Software	14.99
	0	20-000-304-53-5302-0000	Lobby Clock	39.99
	0	20-000-304-53-5302-0000	Office Furniture	29.99
	0	20-000-304-53-5302-0000	Office Furniture and Flyer for Wall in Entryway	205.85
	0	20-000-304-53-5302-0000	Rubber Bands for Flyer Wall	7.97
	0	20-000-304-53-5302-0000	Space Heater for Office	30.49
	0	20-000-304-53-5302-0000	Tablecloths for Trip Previews	44.18
	0	20-000-415-52-5210-0000	Annual Subscription for Program Guide Hosting at Calameo	294.00
	0	20-101-000-53-5313-0000	CAC Chair Tips to Protect Floor	101.50
	0	20-101-000-53-5313-0000	Parts to Repair Batting Cages	16.12
	0	20-101-000-53-5349-0000	Supplies for Goals	59.90
	0	20-101-220-53-5312-0000	Ties for Wires in Ceiling	16.12
	0	20-101-220-53-5313-0000	PPF Drinking Fountain Filters	199.46
	0	20-101-220-53-5313-0000	Signal Selector	71.49
	0	20-101-220-53-5313-0000	Tripod Light	24.88
	0	20-101-220-53-5313-0000	Vinyl Labels	30.41
	0	20-101-220-53-5316-0000	Trash Bags	137.90
	0	20-101-225-53-5302-0000	Tax Refund for Ice Rink Supplies	(27.00)
	0	20-101-225-53-5313-0000	Building Supplies	331.30
	0	20-101-225-53-5316-0000	Custodial Supplies	24.99
	0	20-101-232-53-5302-0000	Molding	6.16
	0	20-101-232-53-5347-0000	Paint Supplies	132.80
	0	20-101-234-53-5311-0000	Blanchard Bathroom	343.52
	0	20-101-234-53-5312-0000	Blanchard Bathroom	30.97
	0	20-101-234-53-5312-0000	Blanchard Electrical Supplies	791.75
	0	20-101-234-53-5312-0000	Blanchard Light Lens	330.54
	0	20-101-234-53-5313-0000	Blanchard Bathroom	475.91
	0	20-101-234-53-5313-0000	Blanchard Building Duct Work Supplies	169.44
	0	20-220-112-53-5301-6610	Program Supplies	45.53
0	20-220-112-53-5301-6610	Supplies	20.29	
0	20-220-201-53-5301-1119	Pottery Studio Supplies	689.99	
0	20-220-202-53-5301-2205	Crayons for Recreation Events	188.14	
0	20-220-202-53-5301-2205	Dance Studio Supplies	5.99	
0	20-220-202-53-5301-2205	Supplies	14.99	
0	20-220-202-53-5301-2259	Theatre Class Supplies	62.29	
0	20-220-203-53-5301-1014	Athletics Supplies	28.93	
0	20-220-203-53-5301-3304	Balance Beam	297.49	

Vendor Name and #	Check #	GL Account Number	Description	Invoice Amounts
UMB Bank N.A. 04121	0	20-220-204-52-5280-4445	Tournaments	1,252.00
	0	20-220-204-52-5280-4457	Google Web Services for Wheaton United	134.40
	0	20-220-204-52-5280-4457	United Soccer Speed Training	2,145.00
	0	20-220-204-52-5280-4457	United Tournament Registration	5,165.31
	0	20-220-204-52-5280-4461	Volleyball Jerseys	16.50
	0	20-220-204-53-5301-4445	UPS for Jersey Delivery	15.54
	0	20-220-204-53-5301-4457	Soccer Supplies	1,300.65
	0	20-220-207-52-5280-7705	Field Trip to the Movies Deposit	1,575.00
	0	20-220-207-53-5301-7732	Arctic Animals and Pom Poms	17.99
	0	20-220-207-53-5301-7732	Craft Supplies	30.61
	0	20-220-207-53-5301-7741	Craft Supplies	30.61
	0	20-220-207-53-5301-7746	Arctic Animals and Pom Poms	17.98
	0	20-220-207-53-5301-7746	Candy	14.97
	0	20-220-207-53-5301-7746	Canva	30.00
	0	20-220-207-53-5301-7746	Coffee Filters for Craft	4.99
	0	20-220-207-53-5301-7746	Construction Paper	56.61
	0	20-220-207-53-5301-7746	Craft and Classroom Supplies	41.00
	0	20-220-207-53-5301-7746	Craft and Room Supplies	81.07
	0	20-220-207-53-5301-7746	Craft Supplies	323.20
	0	20-220-207-53-5301-7746	Crayons for Recreation Programs	188.13
	0	20-220-207-53-5301-7746	Game for Recreation Department	56.10
	0	20-220-207-53-5301-7746	Laminating Plastic	17.90
	0	20-220-207-53-5301-7746	Paper and Model Magic	48.96
	0	20-220-207-53-5301-7746	Pillowcases and Flashlights for Enrichment Classes	32.22
	0	20-220-207-53-5301-7746	Playdoh Cards to Download	0.99
	0	20-220-207-53-5301-7746	Pom Poms	11.99
	0	20-220-207-53-5301-7746	Pot Holders to Decorate	19.99
	0	20-220-207-53-5301-7746	Sensory Items for Classrooms	131.30
	0	20-220-207-53-5301-7746	Socks/Tape/Tin Foil	24.46
	0	20-220-207-53-5301-7746	Stickers	24.69
	0	20-220-207-53-5301-7746	Stickers and Beads for Crafts	30.35
	0	20-220-207-53-5301-7746	Stickers/Pom Poms/Craft and Art Supplies	71.07
	0	20-220-207-53-5301-7746	Supplies	36.62
	0	20-220-208-52-5280-8880	Field Trip to the Movies Deposit	393.75
	0	20-220-208-53-5301-8860	Zone Party Supplies	95.93
	0	20-220-209-52-5280-9951	Chicago Wolves Mascot	250.00
	0	20-220-209-53-5301-9915	Crayons for Recreation Events	100.00
	0	20-220-209-53-5301-9915	Supplies for Daddy/Daughter Dance	97.95
	0	20-220-209-53-5301-9951	Batteries/Gloves	9.46
	0	20-220-209-53-5301-9951	Event Supplies	75.48
	0	20-220-209-53-5301-9951	Game for Recreation Department	56.10
	0	20-220-209-53-5301-9951	Ice a Palooza Hot Chocolate Bar Photo Booth	10.58
	0	20-220-209-53-5301-9951	Ice a Palooza Snow Globe Rental	950.14
	0	20-220-209-53-5301-9951	Supplies	74.58
	0	20-220-225-53-5302-0000	CAC Concessions	251.37
	0	20-220-225-53-5302-0000	Refund for S Clips	(11.88)
	0	20-220-225-53-5302-0000	S Clips	9.99
	0	20-220-225-53-5302-0000	Supplies	596.55

Vendor Name and #	Check #	GL Account Number	Description	Invoice Amounts
UMB Bank N.A. 04121	0	20-220-304-52-5280-5522	Day Trip Preview Event	184.65
	0	20-220-304-52-5280-5522	Second Deposit for the Milwaukee Brewers Tickets for June	750.00
	0	20-220-304-53-5301-5500	Office Supplies	54.46
	0	20-220-304-53-5301-5500	Waste Toner Copier	26.89
	0	20-220-304-53-5301-5502	Silvertones Music	356.39
	0	20-220-304-53-5301-5513	Beyond Glee Music	408.79
	0	20-221-222-53-5302-0000	Jimmy Johns for Coaches Meeting	181.34
	0	20-221-223-53-5329-0000	Pizza for Ball Bash	565.30
	0	20-221-223-54-5405-4459	Baseball Tournament	1,036.47
	0	20-222-231-53-5302-0000	Rehire Party Supplies	189.03
	0	20-222-232-53-5302-0000	Rehire Party Pizza	153.45
	0	20-222-232-53-5302-0000	Rehire Party Supplies	74.25
	0	20-222-232-53-5302-0000	Water Safety-CPR Masks	929.35
	0	20-222-232-53-5302-0000	Zoom 01/14/26-02/13/26	16.99
	0	20-224-220-53-5302-0000	Earbuds Bulk	14.43
	0	20-224-220-53-5302-0000	Hand Sanitizers	23.75
	0	20-224-220-53-5302-0000	Instant Cold Packs	21.61
	0	20-224-220-53-5302-0000	Paper Clips/Kleenex	70.63
	0	20-224-220-53-5306-0000	Air Fryer	172.79
	0	20-224-220-54-5432-0000	2026 IAPD/IPRA State Conference	477.03
	0	20-350-302-52-5241-1925	J3 Events Inc for Reindeer Run	3,552.00
	0	20-350-302-52-5241-1925	REFUND - Runsignup - Reindeer Run Test Registration	(38.99)
	0	20-350-302-52-5241-1925	Runsignup - Reindeer Run Test Registration	38.99
	0	20-350-302-53-5302-0000	Amazon Wipes	562.82
	0	20-350-302-53-5302-0000	Coffee	19.99
	0	20-350-302-53-5302-0000	Folders	9.40
	0	20-350-302-53-5302-0000	Panera Bread for Open House	207.57
	0	20-350-302-53-5302-0000	Parks Plus 2026 Giveaways	2,101.08
	0	20-350-302-53-5302-0000	Supplies for HW Event	27.50
	0	20-350-302-53-5302-0000	Supplies for Open House	518.92
	0	20-350-302-53-5302-0000	Towels	85.47
	0	20-350-302-53-5302-0000	Winter Wellness Prizes	658.25
	0	20-350-302-53-5313-0000	Business Cards for Parks Dept	35.99
	0	20-350-302-53-5327-0000	Apple Music Subscription	10.99
	0	20-350-302-53-5327-0000	EZ Texting	56.65
	0	20-350-302-53-5327-0000	Supplies	41.99
	0	20-350-302-53-5330-0000	Uniforms	193.66
	0	20-418-000-54-5426-0000	3 Job Postings NRPA	525.00
	0	20-418-000-54-5426-0000	Job Posting for Athletic Intern	165.00
	0	20-418-000-54-5426-0000	Job Posting for Personal Trainer for PPFC	165.00
	0	20-418-000-54-5426-0000	Marketing Job Posting IPRA	630.00
	0	20-418-000-54-5426-0000	Marketing Job Posting NRPA	90.00
	0	22-220-206-53-5301-6601	Large Paper Pads	21.73
	0	22-220-206-53-5301-6651	Gel Heating Pads	21.36
	0	22-501-000-52-5210-0000	Animal Crematory	60.00
	0	22-501-000-53-5302-0000	Laundry Soap	8.99
	0	22-501-000-53-5309-0000	Aquarium Test Strips	38.39
	0	22-501-000-53-5309-0000	Blood Analyzing Equipment	497.52

Vendor Name and #	Check #	GL Account Number	Description	Invoice Amounts
UMB Bank N.A. 04121	0	22-501-000-53-5309-0000	Flea and Tick Preventative	171.88
	0	22-501-000-53-5309-0000	Zinc Supplement	29.99
	0	22-501-000-53-5311-0000	Heater for Pig Waterer	91.60
	0	22-501-000-53-5312-0000	Basking Lamps	133.50
	0	22-501-000-53-5312-0000	Extension Cord Ends	93.08
	0	22-501-000-53-5313-0000	Ceramic Space Heaters	123.76
	0	22-501-000-53-5313-0000	Credit for Keys for Duck Enclosure in Pavilion	(49.90)
	0	22-501-000-53-5313-0000	HVAC Filters	71.35
	0	22-501-000-53-5313-0000	Keys for Duck Enclosure in Pavilion	73.90
	0	22-501-000-53-5313-0000	Mouse Traps	9.70
	0	22-501-000-53-5313-0000	Screws and Curtain Rods	136.72
	0	22-501-000-53-5313-0000	Tool Rack for Pavilion	35.51
	0	22-501-000-53-5313-0000	Zip Ties and WD-40	47.29
	0	22-501-000-53-5316-0000	Drain Cleaner	89.87
	0	22-501-000-53-5316-0000	Hand Sanitizers and Flashlight	32.91
	0	22-501-000-53-5316-0000	Kiebler Floor Buffer Rental Mistake	0.00
	0	22-501-000-53-5316-0000	Kiebler Floor Polisher	(223.74)
	0	22-501-000-53-5316-0000	Kiebler Floor Wax	89.69
	0	22-501-000-53-5316-0000	Mop Bucket with Wringer for Station	86.97
	0	22-501-000-53-5316-0000	Mop Head for Waxing	16.17
	0	22-501-000-53-5316-0000	Purell for Zoo	75.98
	0	22-501-000-53-5316-0000	Rental Floor Machine	300.00
	0	22-501-000-53-5316-0000	Shop Vac Filters	56.45
	0	22-501-000-53-5316-0000	Zoo Custodial Supplies	430.56
	0	22-501-000-53-5336-0000	Duck Waterer	85.99
	0	22-501-000-53-5336-0000	Plastic for Training Squares	21.49
	0	22-501-000-53-5336-0000	Purple Bucket	29.42
	0	22-501-000-53-5336-0000	Reptibark	163.10
	0	22-501-000-53-5339-0000	Bird Food	39.59
	0	22-501-000-53-5339-0000	Bugs for Feed	119.60
	0	22-501-000-53-5339-0000	Feeder Insects	101.13
	0	22-501-000-53-5339-0000	Fish Food	82.66
	0	22-501-000-53-5339-0000	Fresh Food for the Animals	40.46
	0	22-501-000-53-5339-0000	Frozen Mice	839.50
	0	22-501-000-53-5339-0000	Frozen Quail	990.00
	0	22-501-000-53-5339-0000	Produce	243.71
	0	22-501-000-54-5425-0000	AZA Annual Membership	95.00
	0	22-501-000-54-5425-0000	AZA Dues	190.00
	0	22-501-000-54-5432-0000	Chicago Transport to Illinois Parks Conference	33.89
	0	22-501-000-54-5432-0000	Metra Transport to Illinois Parks Conference	13.50
	0	22-501-000-54-5432-0000	ZWPA NAI Virtual Conference	105.00
	0	23-000-000-53-5302-0000	CPR Certification Cards	823.95
	0	23-000-000-53-5302-0000	PSC 74335 CAC Flammable Liquid Storage Cabinet	1,099.50
	0	23-000-000-53-5302-0000	Safety Fair Handouts	89.78
	0	23-000-000-53-5302-0000	Safety Fair Supplies	39.72
	0	23-000-000-53-5302-0000	Safety Items for Toohey Park	86.79
	0	23-000-000-53-5302-0000	Supplies	402.45
	0	23-000-000-53-5302-0000	Supplies for Safety Fair	191.00

Vendor Name and #	Check #	GL Account Number	Description	Invoice Amounts
UMB Bank N.A. 04121	0	40-000-000-53-5302-0000	Inspection Supplies	471.54
	0	40-000-000-53-5302-0000	Inspection Tool Bags	29.96
	0	40-000-000-54-5432-0000	Fundamentals of Playground Inspection	20.00
	0	40-000-000-54-5432-0000	PDRMA Training Class	300.00
	0	40-000-000-54-5432-0000	Webinar	20.00
	0	40-000-000-57-5701-0000	Fundamentals of Playgrounds Inspection Training	20.00
	0	40-000-188-57-5701-0000	Kiosk	241.12
	0	40-800-822-53-5301-0000	Forestry Helmets	211.10
	0	40-800-826-57-5701-0000	Storm Water Certification	947.50
	0	40-800-846-57-5701-0000	RMCC Remodel	3,358.95
	0	40-800-846-57-5701-0000	RMCC Remodel Network Supplies	152.74
	0	60-000-000-52-5210-0000	Banquet Table Skirts and Drape Cleaning	360.75
	0	60-000-000-52-5211-0000	DirecTv 01/21/26-02/20/26	309.99
	0	60-000-000-52-5211-0000	Opentable Reservations December 2025	730.00
	0	60-000-000-52-5211-0000	Rose Pest Solutions	232.00
	0	60-000-000-52-5211-0000	SiriusXM Monthly Service January 2026	63.90
	0	60-000-000-52-5211-0000	Tripleseat January 2026	145.83
	0	60-000-000-53-5313-0000	Building Supplies	1,399.15
	0	60-000-000-53-5313-0000	Chair Glides	31.05
	0	60-000-000-53-5313-0000	Pelican Wireless Thermostat/Cover Plate	1,554.00
	0	60-000-000-53-5316-0000	Breaker Repair Kit	66.40
	0	60-000-000-54-5401-0000	Hyatt Lodging Charge to be Reversed	52.43
	0	60-000-000-54-5401-0000	IAPD Conf-Commissioner Valet Parking	30.66
	0	60-000-000-54-5401-0000	IAPD/IPRA Conf-Commissioner Hotel Room	104.86
	0	60-000-000-54-5425-0000	BMI 2026 Annual Dues	305.34
	0	60-000-000-54-5425-0000	MAGCS Renewal	225.00
	0	60-000-000-54-5425-0000	MAGCS Renewal and Meeting	280.00
	0	60-000-000-54-5425-0000	SESAC Annual Dues for 2026	693.66
	0	60-000-000-54-5432-0000	Driving Range Tour Luncheon	53.63
	0	60-000-000-54-5432-0000	Ex Director IAPD Conference-Uber	9.94
	0	60-000-000-54-5432-0000	IAPD Conf-Directors/Social Media Manager Breakfast	36.85
	0	60-000-000-54-5432-0000	IAPD Conference-Uber	14.09
	0	60-000-000-54-5432-0000	IAPD Conf-Ex Asst Breakfast	3.92
	0	60-000-000-54-5432-0000	IAPD Conf-Ex Asst Lunch	6.59
	0	60-000-000-54-5432-0000	IAPD Conf-Ex Asst/Asst Dir of AGC/Marketing Director Uber	11.72
	0	60-000-000-54-5432-0000	IAPD Conf-Ex Asst/Asst Director of AGC/Marketing Director Uber	5.32
	0	60-000-000-54-5432-0000	IAPD Conf-Ex Asst/Director of Marketing/As Dir of AGC Uber	3.74
	0	60-000-000-54-5432-0000	IPRA Conference-Gasoline	48.00
	0	60-000-000-54-5432-0000	IPRA Conference-Parking	124.00
	0	60-000-000-54-5432-0000	Pesticide Training	95.00
0	60-000-000-54-5432-0000	PGA Show-Car Rental	429.45	
0	60-000-000-54-5432-0000	PGA Show-Flights	1,031.77	
0	60-000-000-54-5432-0000	PGA Show-Meal	960.07	
0	60-000-000-54-5432-0000	PGA Show-Parking	86.48	
0	60-000-000-54-5432-0000	PGA Show-Tolls	21.45	
0	60-000-000-54-5432-0000	PGA Show-Uber	23.09	
0	60-000-000-54-5432-0000	Servsafe Training-Basset Certification	14.99	
0	60-000-000-54-5434-0000	Ex Director & AGC Employee Meeting	7.01	

Vendor Name and #	Check #	GL Account Number	Description	Invoice Amounts	
UMB Bank N.A. 04121	0	60-000-000-54-5438-0000	Candy for the Volunteer Mixer	23.32	
	0	60-000-000-54-5438-0000	Donation for DuPage Foundation MLK Breakfast	83.34	
	0	60-000-000-54-5438-0000	Nametags for the Volunteer Mixer	5.20	
	0	60-000-000-54-5438-0000	State of the City Luncheon Table	240.00	
	0	60-000-000-54-5438-0000	WDSRA Bash Sponsorship	858.34	
	0	60-000-000-54-5441-0000	Batteries	169.99	
	0	60-000-000-54-5441-0000	Usa Clean by Jon-Don	149.18	
	0	60-611-000-52-5211-0000	Annual Erange Renewal	416.00	
	0	60-611-415-54-5426-0000	CMS Text LLC	63.90	
	0	60-611-415-54-5426-0000	N2CO-BeLocal Ad	99.00	
	0	60-612-000-53-5302-0000	Prizes for Trivia Days and Baggies for Santa Express Treats	14.47	
	0	60-612-000-54-5441-0000	Hot Surface Ignitor	44.19	
	0	60-612-000-54-5441-0000	Outdoor Grill Cleaning Kit	85.87	
	0	60-612-415-54-5426-0000	Here Comes the Guide	175.00	
	0	60-612-415-54-5426-0000	Sales Solutions	606.00	
	0	60-612-415-54-5426-0000	The Knot Worldwide Monthly 11/28/25-12/27/25	920.57	
	0	60-612-415-54-5426-0000	The Knot Worldwide Premium Banner Program 12/28/25-01/27/26	1,196.67	
	0	60-612-415-54-5426-0000	Yelp 12/01/25-12/31/25	125.00	
	0	60-612-901-53-5390-0000	Banquet Supplies	98.31	
	0	60-612-901-53-5390-0000	Bartender Banquet Supplies	62.00	
	0	60-612-901-53-5390-0000	Shelf for Banquet Office	49.90	
	0	60-612-901-53-5390-0000	Water Pitchers	54.99	
	0	60-612-902-52-5225-0000	Trivia for Arrowhead Jan - May 2026	1,500.00	
	0	60-612-902-53-5388-0000	Restaurant Supplies	491.37	
	0	70-000-000-52-5240-0000	PFA Website Domain Name Registration Renewal with GoDaddy 3yrs	69.57	
	UMB Bank N.A. 04121 Total *				93,166.47
	Van-Lang Enterprises 06687	260378	60-000-000-14-1415-0000	Inv# 328018 General Grocery	2,132.00
		260495	60-000-000-14-1415-0000	Inv# 328135 General Grocery	2,098.00
Van-Lang Enterprises 06687 Total *				4,230.00	
Vermeer Illinois Inc. 01003	260379	10-101-000-53-5315-0000	PSC 74792 Equipment 2019 Chipper	86.13	
Vermeer Illinois Inc. 01003 Total *				86.13	
Vermont Systems Inc 01006	0	10-000-000-52-5239-0000	01/26 Merchant CC Processing Fees	64.08	
	0	10-000-416-52-5239-1900	01/26 Merchant CC Processing Fees	19.47	
	0	10-101-000-52-5239-0000	01/26 Merchant CC Processing Fees	50.36	
	0	20-000-000-52-5239-0000	01/26 Merchant CC Processing Fees	9,278.57	
	0	20-000-112-52-5239-0000	01/26 Merchant CC Processing Fees	19.20	
	0	20-000-304-52-5239-0000	01/26 Merchant CC Processing Fees	201.96	
	0	20-350-302-52-5239-0000	01/26 Merchant CC Processing Fees	503.18	
	0	60-611-000-52-5239-0000	01/26 Merchant CC Processing Fees	585.33	
	0	60-612-000-52-5239-0000	01/26 Merchant CC Processing Fees	20.69	
Vermont Systems Inc 01006 Total *				10,742.84	
Vestis Group, Inc. 07463	260380	60-612-901-52-5222-0000	Inv# 6030490400 Banquet Supplies	605.71	
	260380	60-612-902-52-5222-0000	Inv# 6030490400 Restaurant Supplies	536.00	
	260496	60-612-901-52-5222-0000	Inv# 6030492438 Banquet Linen	600.00	
	260496	60-612-902-52-5222-0000	Inv# 6030492438 Restaurant Linen	541.71	
	260564	60-612-901-52-5222-0000	Inv# 6030494489 Banquet Linen	600.00	
	260564	60-612-902-52-5222-0000	Inv# 6030494489 Restaurant Linen	541.71	
	260610	60-612-901-52-5222-0000	Inv# 6030496169 Banquet Linens	600.00	

Vendor Name and #	Check #	GL Account Number	Description	Invoice Amounts
Vestis Group, Inc. 07463	260610	60-612-902-52-5222-0000	Inv# 6030496169 Restaurant Linens	541.71
Vestis Group, Inc. 07463 Total *				4,566.84
Vigano 07129	260497	20-220-204-52-5280-4457	Wheaton United Payment	750.00
Vigano 07129 Total *				750.00
Village Green Baptist Church 07816	260611	20-220-204-52-5280-4457	Wheaton United Winter Rental March 2026	3,875.00
Village Green Baptist Church 07816 Total *				3,875.00
Village of Lisle 02505	260612	20-000-000-52-5264-0000	Lucent Park 122425-012426	23.05
Village of Lisle 02505 Total *				23.05
W W Grainger Inc 00335	260381	20-101-231-53-5311-0000	Pump Supplies	34.31
	260381	20-101-234-53-5313-0000	Blanchard Restroom Supplies	82.08
	260381	40-800-846-57-5701-0000	RMCC Remodel Handicap Parking	1,009.12
	260565	20-101-231-53-5313-0000	Flex Paste	290.86
	260565	20-101-231-53-5313-0000	Leak Sealer	105.92
	260613	60-000-000-53-5347-0000	Inv# 9822619996	859.65
W W Grainger Inc 00335 Total *				2,381.94
WAGNER 07334	260498	20-220-204-52-5280-4457	Wheaton United Payment	1,416.67
WAGNER 07334 Total *				1,416.67
Wahlgren 01015	260499	75-000-000-21-2137-0000	Reimbursement for February Insurance Overpayment	1,160.37
Wahlgren 01015 Total *				1,160.37
Warehouse Direct 01019	260614	10-000-856-53-5302-0000	Office Supplies	25.98
	260614	10-000-856-53-5302-0000	Supplies	304.29
	260614	22-501-000-53-5302-0000	Office Supplies	110.96
Warehouse Direct 01019 Total *				441.23
Welch 07667	260500	20-221-223-54-5405-4459	Reimbursement for Winter Training Sessions	2,000.00
Welch 07667 Total *				2,000.00
West Side Tractor Sales 07700	260615	10-101-000-53-5315-0000	PSC 75082	376.63
West Side Tractor Sales 07700 Total *				376.63
Westlake Hardware Inc 06308	260616	10-101-000-53-5314-0000	Supplies	11.99
	260616	10-101-000-53-5315-0000	PSC 74792 Equipment 2019	12.00
	260616	10-101-000-53-5315-0000	PSC 74998 Equipment Ice 3	26.99
	260616	10-101-000-53-5315-0000	PSC 75032	11.76
	260616	10-101-000-53-5316-0000	Custodial Supplies	45.98
	260616	10-101-000-53-5316-0000	Custodial Supplies for Cleaning Truck	45.35
	260616	10-101-000-53-5334-0000	Bulk Fasteners	19.86
	260616	10-101-000-53-5334-0000	Flag Pole and Bracket for NSP Pond	39.98
	260616	10-101-000-53-5347-0000	Lacquer Thinner	47.98
	260616	20-101-220-53-5312-0000	Switch Box	13.56
	260616	20-101-220-53-5313-0000	Batteries	24.98
	260616	20-101-220-53-5313-0000	Duct Tape	7.99
	260616	20-101-225-53-5302-0000	Ice Rink Supplies	50.34
	260616	20-101-225-53-5316-0000	CAC Athletic Field Closet Cleaning	71.14
	260616	20-101-225-53-5316-0000	CAC Athletic Field Closet Cleaning Return	(51.16)
	260616	20-101-231-53-5302-0000	Supplies	16.86
	260616	20-101-232-53-5302-0000	Adhesive Spray	39.98
	260616	20-101-232-53-5302-0000	Supplies	16.85
	260616	20-101-234-53-5312-0000	Blanchard Building Flood Lights	59.57
	260616	20-221-222-53-5302-0000	Tarps for Football	75.98
	260616	40-000-000-53-5302-0000	Inspection Tools	50.98

Vendor Name and #	Check #	GL Account Number	Description	Invoice Amounts	
Westlake Hardware Inc 06308	260616	40-000-188-57-5701-0000	Lions Kiosk	45.96	
	260616	40-800-846-57-5701-0000	RMCC Remodel	7.18	
	260616	40-800-846-57-5701-0000	RMCC Remodel Changing Table	53.57	
	260616	40-800-846-57-5701-0000	RMCC Remodel Temp Wash Area	44.97	
	260616	40-800-846-57-5701-0000	RMCC Remodel-Parking Lot Handicap Spots	154.40	
	260616	60-601-000-53-5342-0000	Pruning Saw and Hand Pruners	63.98	
Westlake Hardware Inc 06308 Total *				1,009.02	
Whaley 07131	260501	20-220-204-52-5280-4457	Wheaton United Payment	15,250.00	
Whaley 07131 Total *				15,250.00	
Wheaton Public Library 06255	260566	60-612-415-54-5426-0000	Sponsorship for the Wheaton Public Library	500.00	
Wheaton Public Library 06255 Total *				500.00	
Wheaton Sanitary District 01043	260617	10-000-000-52-5264-0000	DC Hist Museum 010526-020526	23.39	
	260617	10-000-000-52-5264-0000	Manchester Park 010626-020526	13.00	
	260617	10-000-000-52-5264-0000	Memorial Park 010626-020526	13.00	
	260617	10-000-000-52-5264-0000	Northside Park 010626-020526	21.17	
	260617	10-000-000-52-5264-0000	Prairie Path Park 010726-020626	13.00	
	260617	10-000-000-52-5264-0000	Seven Gables Park 010726-020626	13.00	
	260617	10-000-856-52-5264-0000	855 Prairie 010626-020526	62.01	
	260617	10-101-000-52-5264-0000	Parks & Planning 010626-020526	45.67	
	260617	10-430-000-52-5264-0000	DC Hist Museum 010626-020526	10.03	
	260617	20-000-000-52-5264-0000	Boy Scout Cabin 010626-020526	13.00	
	260617	20-000-000-52-5264-0000	Rathje Park 010726-020626	13.00	
	260617	20-000-000-52-5264-0000	Toohey Park 010726-020626	26.53	
	260617	20-000-112-52-5264-0000	Lincoln Marsh Fountain 011326-021126	13.00	
	260617	20-000-304-52-5264-0000	Mary Lubko Center 010625-020526	25.25	
	260617	20-220-225-52-5264-0000	Central Athletic Complex 010626-020526	33.42	
	260617	20-220-225-52-5264-0000	Central Athletic Gym 010626-020526	53.84	
	260617	20-220-225-52-5264-0000	Zamboni Storage 010626-020526	53.84	
	260617	20-222-231-52-5264-0000	Northside Pool 010626-020526	26.00	
	260617	20-350-303-52-5264-0000	Clocktower Commons 010626-020526	13.00	
	260617	22-501-000-52-5264-0000	Bobcat Exhibit 010626-020526	17.08	
	260617	22-501-000-52-5264-0000	Cosley Welcome Ctr 010626-020526	13.00	
	260617	22-501-000-52-5264-0000	Cosley Zoo 010626-020526	156.70	
	260617	60-000-000-52-5264-0000	AGC Clubhouse 010726-020626	369.34	
	260617	60-000-000-52-5264-0000	AGC Maintenance Building 010726-020626	31.05	
	Wheaton Sanitary District 01043 Total *				1,072.32
	Wiezik 07749	260502	20-220-204-52-5280-4457	Wheaton United Payment	333.33
	Wiezik 07749 Total *				333.33
	Wight & Company 05284	260567	40-800-815-57-5701-0000	Graf Field Replacement Study	6,000.00
Wight & Company 05284 Total *				6,000.00	
Wilson Sporting Goods Company 01053	260503	60-000-000-14-1432-0000	Duo Spring Order	3,635.60	
Wilson Sporting Goods Company 01053 Total *				3,635.60	
Wyatts CO2 & Beer Line Cleaning 05138	260504	60-612-902-53-5388-0000	Inv# 40798 Nitro Tanks	80.00	
Wyatts CO2 & Beer Line Cleaning 05138 Total *				80.00	
XEROX CORPORATION 07159	260568	20-000-415-52-5211-0000	Marketing 020726-030626	523.50	
	260568	60-000-000-52-5211-0000	AGC Clubhouse 020726-030626	523.50	
XEROX CORPORATION 07159 Total *				1,047.00	
Yoshikawa 06522	260382	20-222-232-54-5422-0000	Mileage Reimbursement for January 2026	34.36	

Vendor Name and #	Check #	GL Account Number	Description	Invoice Amounts
Yoshikawa 06522 Total *				34.36
YOUNG REMBRANDTS 01081	260383	20-220-201-52-5280-1130	Art Class 01/10/26-01/31/26	800.00
YOUNG REMBRANDTS 01081 Total *				800.00
Young's Grain Farms 01082	260384	22-501-000-53-5336-0000	168 Bales of Straw	714.00
Young's Grain Farms 01082 Total *				714.00
Youth Performance Lab, Inc. 07834	260385	20-220-225-52-5210-0000	January 2026 Payment 4 of 4	3,537.27
	260569	20-220-225-52-5210-0000	February 1 of 2 Payment	6,941.88
	260618	20-220-225-52-5210-0000	February 2026 Payment 2 of 2	470.58
Youth Performance Lab, Inc. 07834 Total *				10,949.73
Zoro Tools Inc 06121	260570	10-101-000-53-5312-0000	NS Path Lights	316.90
	260619	10-101-000-53-5312-0000	Wire Tracer Electrical Tool	1,999.99
	260619	20-101-225-53-5313-0000	Cable Protector	207.98
Zoro Tools Inc 06121 Total *				2,524.87
Grand Total *				1,180,657.55



Wheaton Park District

**Wheaton Park District Board of Commissioners
SUBCOMITTEE MEETING
Saturday January 17, 2026,
Community Center
1777 S. Blanchard Street, Wheaton, IL 60189
9:00 a.m.**

CALL TO ORDER –

President Vires called the meeting to order at 9:00 a.m. Commissioner Barrett, Commissioners Frey, Commissioner Kelly, Commissioner Mee Commission Pecharich, Commissioner Welker arrived 9:04 a.m.

Staff Present included: Executive Director Benard, Executive Assistant Siciliano, Director of Parks and Planning Kimbrough, Assistant Director of Parks & Planning Pickett, Superintendent of Planning Hinchee, Director of Finance Simpson, Assistant Director of Finance Meger, Director of Arrowhead Operations Novak,

Guest: Dan Nicholas from FGMA

COMMUNITY INPUT

None

DISCUSSION ITEMS

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Arrowhead Golf Course Driving Range Improvement Project Proposal – Review of Concept and Cost Estimates

Project Discussion Summary – Arrowhead Golf Club Range & Short Game Facility

Architect Dan Nicholas from FGMA provided an overview of the project concept and construction estimates.

Site Visits & Concept Overview

The Board and staff toured Prairie Bluff and Sanctuary facilities. Dan Nicholas explained that the new covered driving range would sit within the same footprint as the current facility, with tees lowered approximately 2.5 feet. The design improves ADA accessibility and includes a fire truck turnaround. Nicholas noted they are currently working on similar facility in Huntley. Arrowhead orientation is ideal, facing south, and the open-air design is expected to receive more use than comparable enclosed facilities.

Design & Aesthetic Considerations

Significant attention is being paid to aesthetics, particularly views from the clubhouse. The building will be visually open, allowing sightlines from both the upper and lower levels of the clubhouse. One design option includes space for concession trailer and bathroom trailer; another includes a permanent concession and bathroom structures. A small studio bay for private instruction, creating an additional revenue stream is proposed.

Staff recommended replacing the existing gate with a structure more respectful of the building design. Since the facility will operate year-round, pathway lighting is included and will be dark-sky compliant. Garage doors are proposed on the structure to allow visibility from the clubhouse, enhance ventilation, and encourage participation. Nicholas noted the doors would be manually operated.

Access & Circulation

Primary access is designed on the east side of the facility. Discussion included whether routing patrons through the clubhouse would increase food and beverage revenue. Staff noted challenges with golfers carrying bags through the clubhouse and emphasized winter use, where minimizing walking distance is important. Users may bypass the clubhouse and pay directly at the bays. Buckets of balls will be sold rather than time-based usage.

Revenue & Operations

Staff shared that food and beverage revenue typically increases with these facilities. Based on comparable operations, staff estimates the project could generate \$1 million annually in total gross additional revenue. The bucket of balls is expected to be a primary profit driver, with costs averaging \$0.11 per ball and break-even achieved after approximately nine hits.

Toptracer technology is recommended as it aligns better with AGC's operational needs. This program can support youth programming, camps, parties, and mini-outings. Staff acknowledged

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board concerns about children interacting with avid golfers and stated this would be addressed through daily management. Staff will consult Prairie Bluff and Sanctuary on this.

Construction & Cost Summary

- **Estimated Project Cost:**
 - \$2.5 million estimated in construction costs through a general contractor
 - \$137,000 estimated alternate for a concessions and bathroom building addition vs using trailers and \$260,000 in estimated additional potential bid alternate costs
 - \$900,000 estimated in direct owner costs
 - \$281,000 estimated for development of a new adjacent short game practice area as a bid alternate.

The Board agreed that the base bid should include concessions and bathrooms as a structure rather than using trailers eliminating this proposed alternate.

Short Game Area

Kelly requested that drawings for the short game area alternate be presented at a Buildings and Grounds meeting and emphasized the importance of staff input. The Board agreed to proceed and include it as a bid alternate as proposed.

Structure Type Discussion

Comparisons were discussed between stick-built and prefabricated structures for the covered driving range:

- Stick-built facilities take approximately three months to construct and cost about 20% more than the prefabricated solution.
- Prefabricated structures can be installed in approximately one week.

Kelly preferred the Sanctuary style prefabricated structure, noting it performs better in summer heat. Welker reiterated concerns about the view during weddings at Arrowhead, emphasizing the need to maintain positive aesthetics and views from the clubhouse.

The Board agreed that the covered driving range should be bid separately as a prefabricated “Cover the Tees” project versus being designed and bid as a stick built building. This aspect of the project will be bid first and assigned to the general contractor named later due to fabrication lead time.

Funding & Schedule

- Total project cost will be funded from the Arrowhead Golf Club capital reserves as opposed to the general park district capital projects budget.
- Arrowhead Golf Club projects \$6.5 million reserve balance as of 1/1/26.
- Construction will commence at the beginning of October 2026.

Dan Nicholas FGMA left the meeting at approximately 10:00 am

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2026 Capital Projects Funding Overview

Executive Director Benard opened the discussion with a high-level summary of the capital project funding, proposal, review and approval process. Benard reviewed that the Wheaton Park District strives to maintain its parks, facilities, assets and equipment under a “no deferred maintenance” philosophy.

Benard provided a detailed summary concerning the sources of funds that are typically used to pay for Park Board approved capital projects and expenditures. These include:

- Capital Fund Reserves
- General Obligation Annual Bond Proceeds
- Alternate Revenue Bond Proceeds
- State and Federal Grants
- Foundation Support
- Operating Fund Balance Transfers
 - Benard reviewed the District’s Operating Fund Balance Reserve Policy

2026 Capital Project Proposals

Ray Morrill Community Center Interior Renovation Project Phase 3

Bid results were reviewed and discussed on January 7 and board approval is scheduled for January 21. Total project cost for base bid and all three alternates is \$3,263,090.

Baseball/Softball Infield Drainage Improvements

Infield Renovation Program – Board Action Summary

- \$375,000 will be 25% funded from BBSB reserves.
- Proposed work is to renovate eight (8) infields.
- Five (5) infields will be completed by an outside contractor, with District staff overseeing the work and learning best practices from the contractor.
- Following contractor completion, District staff will assume the work on remaining fields, with the infield replacement program continuing through 2027.

Materials & Performance

- Pickett noted the current infield mix is inconsistent and does not perform well in wet conditions.
- Staff recommend QuickPitch Red, which:
 - It’s safe for sliding
 - Perform better in light to moderate rain
 - Will reduce, though not eliminate, weather-related cancellations
- The proposed installation depth is 4 inches.
- Kimbrough and Pickett both have prior experience with this material and reported positive results.

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Field Selection & Scope

- The initial eight fields were selected due to high use and high traffic.
- All eight are lighted fields, which experience the highest usage and greatest wear.
- Additional lighted fields are planned for renovation in 2027.

Additional Work & Capacity

- Grading will be completed in every field as part of the renovation process.
- Kelly asked about in-house capacity after the first year.
 - Brian estimated staff could complete up to 15 fields by the end of 2027.
- Staff will conduct retraining sessions for coaches and field staff on use and maintenance of the renovated infields.

Board Direction

- Staff will release specifications and proceed with the project.
- The Board expressed consensus and agreement to move forward.

Toohey Park

- **Planned Renovations:**
 - \$600,000 in 2026 and \$600,000 in 2027.
 - FY26 \$600,000 OSLAD grant submitted, recently informed application was denied which puts this project on hold.
- **Pond Dredging**
 - Regardless of the grant outcome, pond dredging is necessary.
 - Staff recommend moving forward with design and planning for dredging, both for operational and environmental reasons.
 - The Board approved moving forward with pond dredging.

Capital Projects Non-Specified Area

- District Wide Annual Asphalt Replacement \$250,000 – board consensus to proceed
- Unforeseen Capital Expenses \$100,000 budgeted annually
- District Wide Facility Planning for Permits \$25,000
- District Wide Security Camera Upgrades \$50,000 – board consensus to proceed
- Concept and cost planning
 - Field House Study. Proposal in hand \$22,800 – board consensus to proceed
 - Major Park Restroom Facility Study. Proposal in hand \$29,000 – board consensus to proceed
 - District Wide Master Plan \$125,000. This item will not be completed in 2026

Arrowhead Golf Course Priority Projects

- Parking Lot (phase 2 of 4) \$300,000 – board consensus to proceed
- HVAC Rooftop & Air Make-Up Air Units \$300,000 – board consensus to proceed
- Custom Island (line 3) \$120,000 – proposal detail requested prior to proceeding
- Exterior Doors \$45,000 estimate - board consensus to proceed
- Upgraded AV Equipment \$75,000 – proposal detail requested prior to proceeding

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Atten Park

- Streambank Restoration \$25,000 engineering and 319 Grant application costs – board consensus to proceed with design and grant application process - \$1,000,000 total project cost estimate with \$200,000 local match from both park district and Cantigny
- Irrigation System Replacement 3 lower fields \$210,000 - proposal detail requested prior to proceeding
- Color Coat Tennis & Pickleball Courts \$55,000 – board consensus to proceed

Briar Patch Park

- Batting Cages \$80,000 – Full cost to be reimbursed by Briarcliff Baseball – board consensus to proceed

CAC/Central

- Central Athletic Complex ADA Ramps \$260,000 – board consensus to proceed with the South ramp slope correction concept only
- Pickleball Lights \$150,000 – board consensus to proceed - staff to explore rebate opportunities.

Clocktower Commons:

- Golf Carpet Replacement \$30,000 – board consensus to proceed

Ray Morrill Community Center Priority Projects

- HVAC Improvements \$500,000 – board consensus to proceed (\$141,264 currently under contract for building automation controls)
- Commissioner Kelly said air handlers will be bid next

Rice Pool:

- Renovation concept design and cost estimate - \$200,000 budgeted for engineering (concept and cost design will come in significantly lower) – concept and cost proposals requested for board review
- Sandblast and Paint \$55,000 – board consensus to proceed

Cosley Zoo

- Staff have developed a phased exhibit renovation plan draft with the Aviary identified within our existing conditions audit as the highest priority for update. The Aviary is the anchor project for phase 1.
- Aviary Replacement \$1 million budgeted in both fiscal year 2026 and 2027 to be Grant funded primarily by the Cosley Foundation via a Capital Campaign.
- The Board agreed that Benard will share the phased exhibit renovation plan draft with the Foundation Board, receive their feedback, solicit public input and then bring the final exhibit renovation plan to the park board.
- The Park Board will be informed prior to public feedback solicitation takes place.

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- Duck enclosure fencing, paver pathway repairs and landscaping/ horticultural improvements are also planned upkeep projects for 2026.

Danada South

- Utilities to support the Sensory Garden Playground – Engineering estimates for completion
 - Electric \$75,000
 - Sewer \$130,000
 - Water \$50,000

The board agreed that the utility work proposed could proceed as part of a Play for All Foundation funding and reimbursement initiative similar to how the prior playground elements were funded. Benard will work through the details with the Foundation and bring the subject back to the board for further review.

- Invasive species clearing \$80,000
 - The long-term lease agreement with the DuPage Forest Preserve District calls for the park district to undertake invasive removal at Danada South Park. This project is up for board approval consideration at the February board meeting. Consensus was to move forward.

Graf Park

- Batting cages \$80,000 estimated funded by the \$5 facility improvement fee charged to each athletic program participant
- Visitor Bleachers Replacement \$70,000
- Synthetic Turf Replacement \$550,000 – schedule for after July 3rd fireworks if possible
- Track replacement \$180,000

The board agreed with moving forward on the proposed projects.

Benard shared with the board that the School District has reached out to the park district to discuss their need for an ISHA sized track to serve the middle schools. The Graf Park location behind Monroe Middle School and timing of our track renovation was appropriate for follow up. In concept, the school district would fund the difference between what we were intending to build, which was not an IHSA specified track, and what they were envisioning. Unfortunately, the space constraints at this location make the concept a heavy lift financially and it seems unlikely that the concept will advance. The park district is reviewing other properties for suitability and will follow up with the school district and park board if a viable option is determined to be realistic.

Commissioner Pecharich asked how much the school district is contributing for the synthetic turf. Benard clarified: the school district will not pay for turf; they would cover the difference between what we would pay for the updated track and what they require for competition.

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Hurley Gardens

- Roof Replacement \$27,800
Board consensus to proceed.

Lincoln Marsh

- Office & Garage Roofs \$30,000
Board consensus to proceed.

Northside Park

- Backstop & Fence Replacement \$130,000
- Dredge Settling Basin \$500,000
- Boiler Replacement \$30,000
- Northside Pool Sand Blast & Paint \$25,000
- Northside Pool Wood Deck Replacement \$75,000
- Northside Tennis Lights \$260,000
- Warming Shelter Assessment \$25,000
Board consensus to proceed.

- Girl Scout Cabin Engineering \$50,000
Board consensus to pause for further discussion and review of alternatives. The structure remains unoccupied/unprogrammed due to structural deficiencies. Historical documentation of the structure underway.

Safety Surfacing for Playground/Fitness Equipment

- Prairie Path Park Playground Replacement \$80,000
- Seven Gables Outdoor Fitness Area \$80,000
Board consensus to proceed.

DuPage County Historical Museum

- Museum Exterior Stair Replacement \$25,000 budgeted as a 10% match for DuPage County investment of \$250,000.
Board consensus to proceed.

- Benard has been in discussions with DuPage County regarding a possible \$500,000 allocation towards completing building envelope restoration. The County would again seek a 10% contribution from the park district. Benard will follow up.
- Permanent Exhibit design and specifications are complete and paid for by the Museum Foundation. The cost estimate for the new permanent exhibit is \$750,000 to \$1 million. This project will be on hold until the next Illinois Museum Grant is released for application which is typically tied to a capital bill. In the meantime, the Museum Foundation is in the planning stage for a capital campaign.

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Possible November 2026 General Obligation Bond Referendum Considerations

Timing

Tuesday, November 3, 2026 General Election

- Resolution initiating a public question approved no later than Monday, August 17, 2026
- Target Board Meeting July 15, 2026 for resolution approval
- February through June - Advance research, project consensus, planning and concept design, cost estimations, consultant assisted public polling and referendum communication and planning
- August through election – Public Communication on facts

Legal Debt Margin

Amount Wheaton Park District can issue considering existing debt – Speer WPD Debt overview presentation August 19, 2025

- Non referendum capacity available \$14,440,651
- Statutory debt limit available with over approval (referendum) \$85,592,845
- GO Bond Tax Impact – See page nine of August 19, 2025 Speer Presentation 30, 50 and 70 million impacts provided

Projects Considered

Initial public feedback solicited via Statistically Valid Survey Summer 2025

- Rice Pool - Existing Conditions Audit Presented January 2025
 - Renovation 10-15 million
 - Replacement 25-30 million
 - Need to initiate concept designs and construction estimates
 - Seek Proposals from Williams and FGMA
 - Athletic Field Irrigation – Study Presented November 2025
 - Cost estimate - 4 million
 - Modest Fieldhouse Blanchard Property – Indoor Turf Field and Hardwood Courts
 - Need to initiate concept designs and construction estimates
 - Proposal received from Williams Architects \$22,800
- Board consensus to proceed with seeking proposals.
- Board consensus to proceed with study.

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- Year Round Bathroom Facilities in Community Parks
 - Need to initiate concept designs and construction estimates
 - Seek Proposal from Nevin Hedlund – estimate \$29,000
Board consensus to proceed with study.

Referendum Consulting

- Identified consultants – Need to seek proposal
- Will use firm that completed attitude and interest survey for polling survey.
Board consensus to proceed with seeking proposals.

Board Discussion Concerning Possible Referendum

- Frey: Cautious about referendum concept but understands Rice Pool is close to 40 years old and needs work or replacement.
- Pecharich: Cautious about referendum concept.
- Mee & Frey: Support getting studies done to facilitate decision making.
- Barrett: Supports studies before making a decision; cited Naperville’s \$120M referendum in March as a point of reference.
- Vires: Supports a modest referendum through a targeted, frugal approach. Supports getting studies done to facilitate decision making.
- Kelly: Understands the need for a referendum but emphasized that projects that can be funded without referendum shouldn’t be included. Supports getting studies done to facilitate decision making.
- Welker: Questioned hardwood vs synthetic turf for Fieldhouse concept

Key Takeaways - Board Consensus

- Board favors moving cautiously and deliberately: complete studies first before committing to a referendum.
- Emphasis on targeted, cost-conscious projects.
- Agree to engage referendum consultants and poll voters on identified projects to gauge viability prior to committing to a referendum.
- Concept and cost work for pool, field house, bathrooms will move forward. Concept and cost work for athletic field irrigation is complete.

ADJOURNMENT

At 11:40 Commissioner Mee moved to adjourn the meeting. Second, by Commissioner Pecharich, Motion carried by voice vote.

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Wheaton Park District

Meeting Minutes

Wheaton Park District Board of Commissioners

Wednesday February 18, 2026 - 5:00 p.m.

City of Wheaton Council Chambers 303 W. Wesley Street Wheaton, Illinois

CALL TO ORDER - President Vires called the meeting to order at 5:00 p.m. Commissioners Kelly, Mee, Frey and Welker were present

Commissioners Barrett and Pecharich were absent.

PRESENTATIONS

Dan Leahy, Executive Director Western DuPage Special Recreation Association

Executive Director Leahy stated that he is celebrating five years as Executive Director at WDSRA and appreciates the collaborative relationship he has with member districts.

This year WDSRA is celebrating their 50th anniversary

Services WDSRA provides include exclusive programming, inclusion, Rec & Roll, & disability awareness

WPD/WDSRA relationship includes programming space, shred spaces, inclusion requests, foundation support

Highlights/WPD program registration 1200, WPD inclusion requests 265. Foundation had 89 donors and \$951,4999 received in financial and in-kind donations.

Executive Director Leahy stated that WDSRA received IAPD/IPRA Distinguished Agency Accreditation in 2025 and he was proud to lead the team through the process. Additionally, he mentioned that WDSRA continues progress on inclusion and thanked Executive Director Benard for serving on the inclusion task force.



COMMUNITY INPUT

Public comments are important to the Board. However, it is the Board's policy not to take action on items until time has been taken to gather information and discuss all options. Lack of action does not imply lack of interest in the issues. During the community input portion of the agenda the Board typically will ask residents to provide input prior to accepting input from nonresidents.

The purpose of the public participation is to allow the public the opportunity to make a statement to the Board. The purpose of public participation is not to provoke a debate with the Board. Once an individual has spoken, that individual may not speak on the same issue again. Any limitation regarding addressing the Board may be waived by the Park Board President.

Except during the public comment portion of the regular Board agenda, or as stated in this rule, no person other than the Executive Director or the District's Attorney may address the Board.

CONSENT AGENDA

Consent Agenda items are considered by the Park District to be routine and will be enacted in one motion. There will be no separate discussion on these items. If a member of the Park Board requests, a Consent Agenda item will be removed from the Consent Agenda and considered as an individual item at the end of old or new business.

- A. Approval of the Disbursements totaling \$1,712,216.03 for the period beginning January 14, 2026, and ending February 10, 2026
- B. Approval of Subcommittee Meeting Minutes February 4, 2026
- C. Approval of Board Meeting Minutes January 21, 2026
- D. Approval of Closed Session Minutes January 21, 2026
- ~~E. Approval of Subcommittee Meeting Minutes January 17, 2026~~

Commissioner Mee moved to approve the consent agenda items A-D. Item E carried over to the March meeting. Seconded by Commissioner Frey. No discussion.

Motion passed by roll call vote.

Ayes: Welker, Mee, Kelly, Frey, Vires

Nays: None

Abstain: None

Absent: Barrett, Pecharich



UNFINISHED BUSINESS

None

NEW BUSINESS

1. **Lightning Detection Technology** – Commissioner Frey moved to approve a three-year lease agreement with Perry Weather Equipment in the amount of \$36,400 for year one and \$30,800 for years two and three. Second by Commissioner Mee

Commissioner Mee thanked Executive Director Benard for the additional information. Commissioner Kelly asked if we could purchase the equipment after the lease ends. Executive Director Benard stated that we will follow up with the vendor and provide an answer.

Commissioner Vires stated this is something the district investigated years ago and the problem was technology had false/positives. New technology detects actual lightning and will be a great enhancement to safety.

Motion passed by roll call vote.

Ayes: Welker, Mee, Kelly, Frey, Vires

Nays: None

Abstain: None

Absent: Barrett, Pecharich

2. **Fieldhouse Concept Study** – Commissioner Mee moved to approve an agreement with Williams Architects for Architectural Services for a Fieldhouse concept and cost study in an amount not to exceed \$22,800 plus \$1,000 for reimbursable expenses. Second by Commissioner Welker

President Vires stated that we need to continue to adapt to the demands of the community and this is the first step.

Motion passed by roll call vote.

Ayes: Welker, Mee, Kelly, Frey, Vires

Nays: None

Abstain: None

Absent: Barrett, Pecharich



Wheaton Park District

- 3. Year-Round Park Restroom Concept Study** –Commissioner Frey moved to approve an agreement with Nevin Hedlund Architects for Architectural Services for a concept and cost study for year-round restrooms in various park locations in an amount not to exceed \$28,400 plus \$1,000 for reimbursable expenses. Second by Commissioner Mee.

Commissioner Mee stated that he is interested in the results of the cost study.

Motion passed by roll call vote.

Ayes: Frey, Welker, Mee, Vires

Nays: None

Abstain: Kelly

Absent: None

- 4. Briar Patch Park Batting Cage Project** – Commissioner Mee moved to approve the base bid from Midwest Netting Solutions for a double batting cage in the total amount of \$91,405.33 plus a contingency amount of \$9,140.53. Second by Commissioner Welker.

Commissioner Mee asked about how the project would be funded. Executive Director Benard stated that it will be reimbursed by Briarcliffe Youth Baseball. Benard stated the cages will be available for the public to use.

Motion passed by roll call vote.

Ayes: Welker, Mee, Kelly, Frey, Vires

Nays: None

Abstain: None

Absent: Barrett, Pecharich

- 5. Prairie Path Park Playground Surfacing Project** – Commissioner Welker moved to approve the base bid and no cost Alternate bid from Cunningham Recreation for unitary surfacing in the total amount of \$85,585.30 plus a contingency amount of \$8,558.53. Second by Commissioner Mee

Commissioner Kelly asked if the district has used this product in the past.

Superintendent Hinchee responded that it is a new vendor/ new artificial turf surface product.

Motion passed by roll call vote.

Ayes: Welker, Mee, Kelly, Frey, Vires

Nays: None Abstain: None

Absent: Barrett, Pecharich



6. **Seven Gables Park Outdoor Fitness Equipment Surfacing Project** – Commissioner Mee moved to approve the base bid and no cost Alternate bid from Cunningham Recreation for unitary surfacing in the total amount of \$30,294.12 plus a contingency of \$3,029.41. Second by Commissioner Frey

Motion passed by roll call vote.

Ayes: Welker, Mee, Kelly, Frey, Vires

Nays: None

Abstain: None

Absent: Barrett, Pecharich

7. **Herbicide Services** – Commissioner Mee moved to approve the base bid for herbicide services from Beary Landscape Management LLC for a one-year term for 2026 in the amount of in the amount of \$15,533.32 with options to renew for additional one-year terms in 2027 and 2028. Second by Commissioner Welker.

Commissioner Frey asked what the service is for. Executive Director Benard responded that an outside contractor will manage broad leaf weed care in several of our parks, including parks that host athletic activities

Commissioner Mee asked if it is a different service than used in the past. Executive Director Benard responded, yes.

Motion passed by roll call vote.

Ayes: Welker, Mee, Kelly, Frey, Vires

Nays: None

Abstain: None

Absent: Barrett, Pecharich

8. **Cosley Zoo Hale Family Education Pavilion Project** – Commissioner Kelly moved to accept Change Order #11 in the amount of \$1,439.66 with E.P. Doyle Construction. Second by Commissioner Frey

Motion passed by roll call vote.

Ayes: Welker, Mee, Kelly, Frey, Vires

Nays: None

Abstain: None

Absent: Barrett, Pecharich



9. **Danada South Park Invasives Removal Project** – Commissioner Welker moved to approve a contract with Semper Fi for invasive clearing at Danada South in the amount of \$41,503.36 plus a 10% contingency in the amount of \$4,150. Second by Commissioner Mee.

President Vires asked if this is part of our lease obligation with the DuPage County Forest Preserve. Executive Director Benard responded yes.

Motion passed by roll call vote.

Ayes: Welker, Mee, Kelly, Frey, Vires

Nays: None

Abstain: None

Absent: Barrett, Pecharich

10. **Ray Morrill Community Center Furniture Purchases** – Commissioner Kelly moved to accept the base bid, and installation costs for office furniture at the Ray Morrill Community Center from Henricksen for an amount of \$29,740.02. Second by Commissioner Frey.

Motion passed by roll call vote.

Ayes: Welker, Mee, Kelly, Frey, Vires

Nays: None

Abstain: None

Absent: Barrett, Pecharich

11. **Park Maintenance Equipment Purchase** – Commissioner Frey approve the purchase of a Toro Groundsmaster 4010D through Illinois State Contract delivered locally by Reinders in the amount of \$130,241.32. Second by Commissioner Kelly

Motion passed by roll call vote.

Ayes: Welker, Mee, Kelly, Frey, Vires

Nays: None

Abstain: None

Absent: Barrett, Pecharich



12. 2026 Program Apparel Purchase – Commissioner Mee moved to approve the following bids for 2026 program and event apparel

- Lincoln Marsh & Run for the Animals - Marathon Sportswear in the amount of \$21,433.40
- Camps, Athletics, Parks, Cosley Zoo & Reindeer Run - SBI Custom Apparel, in the amount of \$25,031.25
- Aquatics, Memorial Park, Special Events & Arrowhead - Empire Printing in the amount of \$10,394.54
- Cream of Wheaton - Golf Direct Now in the amount of \$1,262.50

Second by Commissioner Kelly

Motion passed by roll call vote.

Ayes: Welker, Mee, Kelly, Frey, Vires

Nays: None

Abstain: None

Absent: Barrett, Pecharich

13. 2026 Rams Football Uniform and Equipment Purchase – Commissioner Welker moved to Approve the Bids for the Vendors, Products and Prices for the 2026 Rams Football Uniforms and Equipment Purchases per Staff Recommendations
(see detail after agenda)

Second by Commissioner Frey

Motion passed by roll call vote.

Ayes: Welker, Mee, Kelly, Frey, Vires

Nays: None

Abstain: None

Absent: Barrett, Pecharich

14. Information Technology Managed Services – Commissioner Mee to approve an agreement for professional information technology managed services with Advanced Intelligence Engineering at a rate of \$140.53 per user per month for 175 users plus a \$9 per month for email threat detection monitoring for a term of 60 months with a 4 percent increase in the per user monthly fee effective each January for the duration of the term beginning in January 2027. Second by Commissioner Frey



Wheaton Park District

Motion passed by roll call vote.

Ayes: Welker, Mee, Kelly, Frey, Vires

Nays: None

Abstain: None

Absent: Barrett, Pecharich

REPORTS FROM STAFF

Director Beyer stated that the first 24 hours of spring, camp and aquatic registration on February 17 resulted in nearly 7800 registration and over \$1.2 million in fees collected,

Parks Plus Fitness Center Annual Report

Fitness Manager Diserio thanked the facilities and maintenance staff for cleaning and maintaining Parks Plus Fitness Center.

Manager Diserio reported that Parks Plus Fitness Center had a net revenue of over \$100,000 and a membership increase of 300.

Manager Diserio stated that Parks Plus Fitness Center focused on outreached opportunities, youth performance at Central Athletic Center and holistic wellness programs.

Commissioner Welker stated that it was an excellent report and she is looking forward to learning more about the new programming,

Commissioner Mee commented that it was an excellent report, specifically the Executive Summary

Commissioner Mee also noted:

- Increased membership
- Sustained growth since 2024
- Program & race revenue growth
- He appreciated the shout-out to the parks department regarding cleaning and maintenance
- Nearly 90% of survey respondents rate PPF *very good* or *excellent*
- New full-size lockers installed in RMCC locker rooms with positive feedback
- Addition of Youth Sports Performance Landing Page

Director Diserio stated that the Youth Performance Program currently has over 100 youth participating. It is anticipated that this number will continue to grow



Wheaton Park District

President Vires stated that the numbers are amazing and he complimented Manager Diserio on his management and Executive Director Benard on his leadership.

- Monthly Department Reports – Finance, Special Facilities, Marketing, Development, Events, Recreation, Athletics, Parks, and Planning

Commissioner Mee commented that the Arrowhead Golf Club was ranked 24 by Golfer's Choice for off course amenities.

Commissioner Mee inquired about AGC Wedding Showcase. Director Novak responded that 60 couples attended and AGC staff are following up on leads.

Commissioner Mee asked about the IPRA Showcase. Director Benard stated that the district was in the top three in a few categories and is proud of the work the marketing department is being recognized for on a state level.

Commissioner Mee complimented the Recreation Department for a successful Ice-A- Palooza event.

President Vires commented about fund balances that are slated to be transferred to capital to take on new projects and maintain assets. He mentioned that Arrowhead Golf Club is an Enterprise Fund, where a very small amount of money comes in from taxes and the remainder is from operational profits. Currently the AGC fund has a balance of \$6 million+. Additionally, AGC contributes \$50,000 annually to WPD capital Projects.

ADJOURNMENT

Commissioner Mee moved to adjourn the meeting at 5:34p. Second by Commissioner Kelly. Motion



Wheaton Park District

Motion Detail – New Business #13 2026 FOOTBALL UNIFORMS AND ATHLETIC EQUIPMENT BIDS

Vendor	Equipment	Quantity	Cost
Equipment/Helmets/Miscellaneous Supplies			
Riddell	Mouth Guards (Strapped) Navy Blue	1200 ea.	\$0.45
Riddell	Riddell Hard Cup Chin Strap Navy Blue	30 ea.	\$18.00
Santo Sport Store	Champro Football Belt FWB – Orange	40 doz.	\$8.44
Riddell	Riddell Speed Classic Youth Helmet (Gloss Navy) With S2BDC-HS4 Facemask Attached (Navy Blue FM)	50 ea.	\$160.00
Certor Sports	Shutt F7 Air Youth Helmet (Gloss Navy) With F7X-ROPO-DQ-O Facemask Attached (Navy Blue FM)	30 ea.	\$140.00
TPS Sports	Champro 5-Star Rated SH7 Soft Shell Black SSH2 Helmet Small / Medium / Large	200 ea.	\$37.78
TPS Sports	Champro 12” Pump A141	30 ea.	\$2.98
TPS Sports	Champro Replacement Needle A145B	10 ea.	\$0.58
Socks/Shoulder Pads/Game Pants			
TPS Sports	Champro Socks (White & Navy & Orange) AS2 Multi-Sport Sock Small	24 doz.	\$23.78
TPS Sports	Champro Socks (White & Navy & Orange) AS2 Multi-Sport Sock Medium	51 doz.	\$23.78

Persons with disabilities requiring reasonable accommodation to participate in this meeting should contact the park district’s ADA Compliance Officer, Michael Benard, at the park district’s Administrative Office, 102 E. Wesley Street, Wheaton, IL Monday through Friday from 8:30 am until 4:30 pm at least 48 hours prior to the meeting. Requests for a qualified ASL interpreter require five (5) working days advance notice. Telephone number 630.510-4944; fax number 630.665.5880; email dsiciliano@wheatonparks.org



Wheaton Park District

TPS Sports	Champro Socks (White & Navy & Orange) AS2 Multi-Sport Sock Large	57 doz.	\$23.78
Riddell	Riddell Pursuit Youth Shoulder Pad Youth Sizes: Small / Medium/ Large/ X-Large/ XX-Large	50 ea.	\$53.00
Santo Sport Store	Navy Game Pant – Champro Blocker Traditional Game Pant FP20 (Youth & Adult)	500 Ea.	Y - \$13.93 A - \$15.43
Santo Sport Store	White Game Pant – Champro Blocker Traditional Game Pant FP20 (Youth & Adult)		Y - \$13.93 A - \$15.43
Santo Sport Store	Orange Game Pant – Champro Blocker Traditional Game Pant FP20 (Youth & Adult)		Y - \$13.93 A - \$15.43
Footballs			
Santo Sport Store	Wilson GST Tan Game Football Pee Wee	10 ea.	\$63.70
Santo Sport Store	Wilson GST Tan Game Football Junior	10 ea.	\$63.70
Santo Sport Store	Wilson GST Tan Game Football Youth	10 ea.	\$63.70
Game One	Wilson NFL The Duke Mini Replica Footballs	10 ea.	\$22.98
Santo Sport Store	Champro FLX Leather Football FB8 Pee Wee	10 ea.	\$46.84
Santo Sport Store	Champro FLX Leather Football FB 8 Junior	10 ea.	\$56.24
Jerseys			
Kirhofer's Sports	Reversible Game Jersey (Youth & Adult)	500 ea.	Y - \$41.25 A - \$41.25
Riddell	Flag Football Jersey With 3 Velcro Flags	600 ea.	Y - \$38.88 A - \$39.89

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Wheaton Park District

	Attached to Jersey. Twelve (12) different color mix – approx. 50 of each color/design with 2” RAMS and 6” number w/ single-color on-screen front with 8” number w/single color on screen back		
Santo Sport Store	Champro Shuffle Football Practice Jersey FJ7 – Navy 2” RAMS on front of jersey – White (Youth & Adult)	500 ea.	Y - \$8.39 A - \$8.39
Miscellaneous Items			
Santo Sport Store	Champro Scrimmage Vest FV – Orange – Adult and Intermediate	150 ea.	\$2.93
TPS Sports	Champro Football Helmet Scrimmage CAP FXA11 – Orange	150 ea.	\$2.38
Game One	Riddell HS-24 Half Blocking Shed	10 ea.	\$54.79
Game One	Riddle R-13 Half Round Step-Over Dummy	10 ea.	\$91.92
Game One	Jax Tackler Varsity Black	1 ea.	\$1,294.50
Game One	72” Pop-up Dummy	5 ea.	\$757.55
Pyramid School Products	BSN Sport JV Orange Chain Set & BSN Down Box 1379287	1 ea.	\$485.99
Santo Sport Store	Champro Jumbo All-Purpose Bag on Wheels E50 - Navy	20 ea.	\$63.70
BSN	Football Helmet Storage Cart	2 ea.	\$256.78

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TO: Wheaton Park District Board of Park Commissioners
FROM: Sandra Simpson, Director of Finance
THROUGH: Michael Benard, Executive Director
RE: 2025 GO Bond Post Issuance Compliance Checklist
DATE: March 18, 2026



SUMMARY: The District is obliged to complete a post issuance compliance checklist whenever we issue General Obligation Bonds.

PREVIOUS COMMITTEE/BOARD ACTION: The board issued the Annual rollover bonds in November 2025 and receives this information annually.

REVENUE OR FUNDING IMPLICATIONS: N/A

ATTACHMENTS: The checklist and the report documenting that the checklist was completed.

RECOMMENDATION: There is no board action required, as noted in the report, it is just required that the report (the last two pages on the attached) be made a public document. We satisfy that requirement by adding it as a staff report in our regular board meeting package.

JANUARY 30, 2026

Mr. Michael Benard, Executive Director
Ms. Sandra Simpson, Director of Finance
Wheaton Park District
102 East Wesley Street
Wheaton, Illinois 60187

Re: Wheaton Park District,
DuPage County, Illinois (the "*District*")
General Obligation Limited Tax Park Bonds, Series 2025 (the "*Bonds*")
Post Issuance Compliance Matters

Dear Mike and Sandra:

Congratulations on the successful closing of the Bond issue. Although the closing is clearly the major milestone in the transaction process, we want to remind you of certain of your ongoing obligations under the federal tax and securities laws and various Bond-related documents.

As you know, the District has adopted a Bond Record Keeping Policy (the "*Policy*") to monitor tax compliance requirements related to the tax-exempt status of the Bonds. The Policy establishes due diligence practices and sets personal responsibility so you and your successors can find what you need should the Internal Revenue Service ("*IRS*") contact the District. The Policy requires the Compliance Officer (as designated in the Policy) to annually review the applicable records and report his or her findings to the Board of Park Commissioners of the District. We have enclosed a Post Issuance Compliance Checklist and a Post Issuance Compliance Report (which, together with the Policy, are the "*Post Issuance Compliance Materials*") to assist you and the District in this regard. While the Post Issuance Compliance Materials are not meant to be an exhaustive guide, they may provide you with a helpful methodology for compliance.

In some cases, the District may arrange for someone to assist with certain Post Issuance Compliance responsibilities. For example, the District's financial advisor or investment banker may work with the District on its continuing disclosure obligations. That relationship should be so noted on the Post Issuance Compliance Checklist.

The IRS has an active audit program and regularly audits tax-exempt bond issues. As part of an audit, the IRS generally demands extensive records concerning post issuance use of proceeds as well as all of the documents in the bond transcript relating to the issuance of the bonds (and documents relating to obligations refunded by the bonds, if any). The IRS also sends compliance questionnaires to issuers inquiring about bond issues and about record keeping policies for the bonds. Adopting, maintaining and complying with adequate record keeping policies will help the District answer IRS audit questions and IRS compliance questionnaires and should provide the District with a more favorable settlement of tax issues if the District needs to approach the IRS as part of a voluntary settlement program.

CHAPMAN

Focused on Finance

Mr. Michael Benard
Ms. Sandra Simpson
January 30, 2026
Page 2

Since every financing is different, your record keeping must be tailored to the particulars of the Bonds. Answers to frequently asked questions pertaining to those requirements can be found on the IRS website under frequently asked questions related to tax-exempt bonds at www.irs.gov (click on “File”, then “Tax exempt bonds”, then “Post issuance compliance”, then “Questions and answers regarding record retention requirements”). It will be your obligation to comply with the record keeping requirements for at least as long as any of the Bonds (or any future bonds issued to refund the Bonds) are outstanding, plus three years. In the event the IRS audits the Bonds, the District (as the taxpayer in the audit) has the burden of proof to demonstrate the entitlement to tax exemption.

As indicated in our engagement letter with the District, our representation of the District and the attorney-client relationship created by the engagement letter concluded upon the issuance of the Bonds. The Post Issuance Compliance Materials have been prepared by us and are provided to you as a courtesy and for informational purposes only. The Post Issuance Compliance Materials are general in nature, are based upon authorities that are subject to change and are not intended as legal advice.

As always, please feel free to call the undersigned with any questions or comments.

Very truly yours,

CHAPMAN AND CUTLER LLP

By 
Elizabeth M. Forzley

EMF:nr

cc: Mr. Anthony Miceli
Ms. Anjali Vij

POST ISSUANCE COMPLIANCE CHECKLIST

GENERAL OBLIGATION LIMITED TAX PARK BONDS, SERIES 2025

Responsible Person for Debt Management Activities	Director of Finance
Bond Counsel	Chapman and Cutler LLP
Municipal Advisor	Speer Financial, Inc.
Purchaser	Time Bank
Paying Agent	Time Bank

A. FEDERAL TAX LAW REQUIREMENTS

1. General Matters.

(a) Location of complete bond transcript:

File saved on network at Q:\Audit\Debt Schedules\Annual Debt Issues\2025\WPD Series 2025 Transcript

(b) Have there been any "significant modifications" to the bond documents? If so, this could result in a reissuance. You may need proof of filing a new Form 8038-G plus a final rebate calculation on the pre-modified bonds. **No**

2. Monitor the Use of Proceeds and Financed Facilities.

(a) Do you have any no private business use arrangements with any private entities (includes the federal government)? **No**

(b) Have you taken any actions Re: the Financed Facilities?

(i) Sale? **No**

(ii) Leases? **No**

(iii) Management contracts? **No**

(iv) "Special legal entitlements"? **No**

3. Arbitrage. **N/A - Annual issues are spent within one year.**

(a) Rebate¹.

(i) First installment of arbitrage rebate generally is due on the fifth anniversary of bond issuance plus 60 days.

(ii) Succeeding installments every five years.

¹ To calculate rebate one must have at least (i) complete records of all payments of principal and interest made on the Bonds and (ii) all investment income received on the investment of Bond proceeds.

\$495,950.00 of these proceeds are used for the 12/15/2025 debt payment for the Series 2019A Alternate General Obligation Bonds of the District. \$18,700.00 was used to pay the expenses of issuing the bonds. The remaining \$1,660,142.00 is used for capital projects of the District. The expenditure of those proceeds can be found on the District's network at Q:\Audit\Debt Schedules\Spend Down of Proceeds\Audit Compliance of 2010 & Annual Bond Issues

- (iii) Final installment 60 days after retirement of last bonds of issue.
- (iv) Monitor expenditures prior to semi-annual target dates for six-month, 18-month, or 24-month spending exception.
- (b) Monitor expenditures generally against date of issuance expectations for three-year temporary period.
- (c) For advance refunding escrows, confirm that any scheduled purchases of 0% SLGS are made on scheduled date.

4. Record Retention.

- (a) Maintain general records relating to issue for life of issue plus any refunding plus three years. District's network at Q:\Audit\Debt Schedules\Annual Debt Issues\2025
- (b) Maintain special records required by safe harbor for investment contracts or defeasance escrows. N/A
- (c) Maintain record of identification on issuer's books and records of "qualified hedge" contracts and all payments and receipts thereunder. N/A

B. SECURITIES LAW DISCLOSURE REQUIREMENTS (NOT APPLICABLE TO THE BONDS)

1. SEC Rule 15c2-12 Requirements².

- (a) Did the District execute and deliver a continuing disclosure undertaking ("CDU") in connection with the Bond issue? Was it a limited or a full CDU? If you are obligated to provide certain information to the market and fail to do so, subsequent attempts to access the market may be penalized. No per bond transcript page 32 of 114
- (b) Periodically determine that required CDU filings have been prepared, sent to and received by EMMA. We get notifications of every time an update is made, we have signed up to receive email notifications automatically from EMMA. Additionally Speer sends us an email notifying us of same. The confirmations can be found on the EMMA portal as well as on the district's network at Q:\Audit\Debt Schedules\Annual Debt Issues\2025
- (c) Information:
 - (i) Annual Reports.
 - (1) Quantitative financial information and operating data disclosed in official statement. However, we are required to do CDUs for other outstanding debt issues, our municipal advisor, Speer, drafts these. We review them in detail and after our changes are made Speer files them on EMMA. We are notified by email any time any filing is done on our issues on EMMA (this is something we signed up for at EMMA). We also retain a copy of the confirmations that Speer sends us of the filings on our network.
 - (2) Audited financial statements.
 - (ii) Other information.
 - (1) Change of fiscal year.
 - (2) Other information specified in CDU.

² Disclosures must be made via the Municipal Securities Rulemaking Board's Electronic Municipal Market Access ("EMMA") system. Material filed at EMMA will be open to the public for free.

(d) Reportable Event Disclosure. N/A

Notification by obligated person to EMMA, in timely manner, of any of the following events with respect to the Bonds:

- (i) Principal and interest payment delinquencies.
 - (ii) Non-payment related defaults, if material.
 - (iii) Unscheduled draws on debt service reserves reflecting financial difficulties.
 - (iv) Unscheduled draws on credit enhancements reflecting financial difficulties.
 - (v) Substitution of credit or liquidity providers, or their failure to perform.
 - (vi) Adverse tax opinions, the issuance by the IRS of proposed or final determinations of taxability, Notices of Proposed Issue (IRS Form 5701-TEB) or other material notices or determinations with respect to the tax status of the bonds, or other material events affecting the tax status of the bonds.
 - (vii) Modifications to rights of holders of the bonds, if material.
 - (viii) Bond calls and tender offers.
 - (ix) Defeasances.
 - (x) Release, substitution or sale of property securing repayment of the bonds.
 - (xi) Rating changes.
 - (xii) Bankruptcy, insolvency, receivership or similar event of the District.
 - (xiii) The consummation of a merger, consolidation, or acquisition involving the District or the sale of all or substantially all of the assets of the District, other than in the ordinary course of business, the entry into a definitive agreement to undertake such an action or the termination of a definitive agreement relating to any such actions, other than pursuant to its terms, if material.
 - (xiv) Appointment of a successor or additional trustee or the change of name of a trustee, if material.
 - (xv) Incurrence of a financial obligation of the District, if material, or agreement to covenants, events of default, remedies, priority rights, or other similar terms of a financial obligation of the District, any of which affect security holders, if material.
 - (xvi) Default, event of acceleration, termination event, modification of terms, or other similar events under the terms of the financial obligation of the District, any of which reflect financial difficulties.
- (e) Failure of the District to timely file financial information (including audited financial statements) and operating data with EMMA.

2. Information Required to be Filed with Other Entities.

- (a) Rating Agency(ies). Moody's
- (b) Bond Insurer. N/A
- (c) Credit Enhancer. N/A

Examples:

(i) Financial records.

Annual Comprehensive Financial Report is available on our website - <http://wheatonparkdistrict.com/transparency-portal/budget-financial-reports/>

(1) Annual.

(2) Quarterly.

N/A

(ii) Budgets.

(iii) Issuance of additional bonds. N/A

(iv) Events of default. N/A

(v) Notices of redemption. N/A

(vi) Amendments to bond documents. N/A

C. MISCELLANEOUS

1. Financial Covenants.

Monitor rate or other covenants. N/A

2. Investments.

Monitor permitted investments restrictions. N/A

PLEASE NOTE: This checklist is by its nature not comprehensive. No checklist can ever be a complete safeguard. Federal tax law compliance depends upon all of the relevant facts and circumstances in the particular transaction. Nonetheless, checklists can help provide a methodology for compliance.

The joint task force between the National Association of Bond Lawyers and the Government Finance Officers Association has prepared a more comprehensive "Tax Compliance Checklist—Post Issuance," which can be found at [www.http://www.gfoa.org/downloads/ PostIssuanceCompliance.pdf](http://www.gfoa.org/downloads/PostIssuanceCompliance.pdf).

STATE OF ILLINOIS)
) SS
COUNTY OF DUPAGE)

POST-ISSUANCE TAX COMPLIANCE REPORT

To: Board of Park Commissioners of the Wheaton Park District, DuPage County, Illinois

Pursuant to my responsibilities as the Compliance Officer as set forth in a Bond Record Keeping Policy (the "*Policy*") originally adopted by the Board of Park Commissioners (the "*Board*") of the Wheaton Park District, DuPage County, Illinois (the "*District*"), on the 22nd day of September, 2010, and as amended on the 14th day of November, 2012, I have prepared a report reviewing the District's contracts and records to determine whether the Tax Advantaged Obligations (as defined in the Policy), comply with the applicable federal tax requirements. In accordance with the proceedings and agreements under which the Tax Advantaged Obligations were issued, the District has covenanted generally to take all action necessary to comply with the applicable federal tax rules and regulations relating to the Tax Advantaged Obligations, including covenants necessary to preserve the excludability of interest on the Tax Advantaged Obligations from gross income for federal income taxation purposes. The following sets forth a summary demonstrating the District's compliance with such covenants and expectations.

(a) *Records.* I have in my possession all of the records required under the Policy.

(b) *Arbitrage Rebate Liability.* I have reviewed the agreements of the District with respect to each issue of the Tax Advantaged Obligations. At this time, the District does not have any rebate liability to the U.S. Treasury.

(c) *Contract Review.* I have reviewed copies of all contracts and agreements of the District, including any leases, with respect to the use of any property owned by the District and acquired, constructed or otherwise financed or refinanced with the proceeds of the Tax Advantaged Obligations and other records. At this time, each issue of the Tax Advantaged Obligations complies with the federal tax requirements applicable to such issue, including restrictions on private business use, private payments and private loans.

(d) *IRS Examinations or Inquiries.* The Internal Revenue Service (the “IRS”) has not commenced an examination of any issue of the Tax Advantaged Obligations. The IRS has not requested a response to a compliance check, questionnaire or other inquiry.

Based upon the foregoing, I believe that the District is currently in compliance with the applicable tax law requirements and no further action is necessary at this time. This report will be entered into the records of the District and made available to all members of the Board at the next regular meeting thereof.

Respectfully submitted this 18th day of March 2026.

By 
Compliance Officer

WHEATON PARK DISTRICT

**AN ORDINANCE APPROVING THE DISPOSAL AND SALE OF PERSONAL
PROPERTY OWNED BY THE WHEATON PARK DISTRICT**

ORDINANCE 2026-02

WHEREAS, the Wheaton Park District, DuPage County, Illinois (the “District”), is a duly organized and existing Park District created under the provision of the laws of the State of Illinois and is now operating under the provisions of the Park District Code of the State of Illinois and all laws amendatory thereof and supplementary thereto (the “Park Code”); and,

WHEREAS, pursuant to Section 8-22 of the Park Code, three-fifths of the members of the Park Board may authorize the trade in, donation, or disposal of personal property that is no longer necessary, useful to, or in the best interests of the Park District; and,

WHEREAS, the Park District owns: One (1) Lenovo Desktop serial number MJ0DZCYZ 10T7007WUS located at 855 W. Prairie; Six (6) NEC Monitors located at 855 W. Prairie ; One (1) One Brother LaserFax Super G3 serial number U63274C5J907406 model # FAX2840 located at 855 W. Prairie; One (1) Martin Whalen Xerox Printer serial number BA9412489 model number Phaser3635MFP1S located at Prairie; One (1) 2012 Case 580N Backhoe Loader item #1207, Serial # JJGN580NLCC560722 located at Park Services Center; One (1) 2014 F450 Crew Cab dump truck item #1112, Vin#1FD0W4HY7EEA43272 located at Park Services Center; One (1) 2006 Chevrolet Express 3500 Van item #1141 Vin#1GAH39U261266637 located at Park Services Center;

WHEREAS, the Board of Park Commissioners has determined that it would be in the best interest of the Park District to dispose: One (1) Lenovo Desktop serial number MJ0DZCYZ 10T7007WUS located at 855 W. Prairie; Six (6) NEC Monitors located at 855 W. Prairie ; One (1) One Brother LaserFax Super G3 serial number U63274C5J907406 model # FAX2840 located at 855 W. Prairie; One (1) Martin Whalen Xerox Printer serial number BA9412489 model number Phaser3635MFP1S located at Prairie; One (1) 2012 Case 580N Backhoe Loader item #1207, Serial # JJGN580NLCC560722 located at Park Services Center; One (1) 2014 F450 Crew Cab dump truck item #1112, Vin#1FD0W4HY7EEA43272 located at Park Services Center; One (1) 2006 Chevrolet Express 3500 Van item #1141 Vin#1GAH39U261266637 located at Park Services Center;

NOW, THEREFORE, IT IS HEREBY ORDAINED BY THE BOARD OF PARK COMMISSIONERS OF THE WHEATON PARK DISTRICT, DuPage County, Illinois, as follows:

Section 1: The foregoing preamble of the Ordinance is hereby incorporated in its entirety in **Ordinance 2026-02**

Section 2: The Park District will dispose: One (1) Lenovo Desktop serial number MJ0DZCYZ 10T7007WUS located at 855 W. Prairie; Six (6) NEC Monitors located at 855 W. Prairie ; One (1) One Brother LaserFax Super G3 serial number U63274C5J907406 model # FAX2840 located at 855 W. Prairie; One (1) Martin Whalen Xerox Printer serial number BA9412489 model number Phaser3635MFP1S located at Prairie; One (1) 2012 Case 580N Backhoe Loader item #1207, Serial # JJGN580NLCC560722 located at Park Services Center; One (1) 2014 F450 Crew Cab dump truck item #1112, Vin#1FD0W4HY7EEA43272 located at Park Services Center; One (1) 2006 Chevrolet Express 3500 Van item #1141 Vin#1GAH39U261266637 located at Park Services Center;

Section 3: Except, as otherwise provided herein, this **Ordinance 2026-02** Shall be in full force and effective forthwith upon its adoption and approval as provided by law.

Adopted this 18th day of March 2026

AYES: _____

NAYS: _____

ABSENT: _____

President Board of Park Commissioners
Wheaton Park District

ATTEST:

Secretary, Board of Park Commissioners
Wheaton Park District

(S E A L)

TO: Board of Commissioners

FROM: Jamie Martinson, Superintendent of Recreation Programs
Cody Nelson, Superintendent of Athletic Programs

THROUGH: Michael Benard, Executive Director

RE: Athletic and Recreation Vendor List Over \$19,999.99

DATE: March 18, 2026



SUMMARY:

The Recreation and Athletic Department retain independent contractors to provide specialized services such as program instruction, athletic training, officiating, and facility space. These vendors are expected to be paid more than \$19,999.99 through March 2027.

Discussion of the Issue

The following independent contractors were paid more than \$19,999.99 in 2025 or are expected to be paid more than that threshold in 2026.

Vendors likely to be over \$19,999.99	Vendor Number	Service Provided	2024	2025
EVP Academies LLC	05220	Volleyball Programs	\$21,430	\$23,351
Zone250 (West Chicago Park District)	01035	Facility Rental (United)	\$19,650	\$15,600
Justin Sheppard	07135	United Soccer	\$24,233	\$25,247
Janet Cleary Allman	07085	United Soccer	\$15,995	\$18,250
Melissa Oker	07116	United Soccer	\$16,250	\$18,274
Total Body Wellness & Performance	07253	Athletic Trainers	\$18,870	\$22,815
No Regrets Inc. / Adrenaline Fundraising	07585	Football Fundraiser	\$21,383	\$16,335
Joshua Bacheller	07139	United Soccer	\$14,425	\$21,450
Malnati Organization	05184	Cheerleading Fundraiser	\$10,820	\$14,710
YSSL	06201	Young Sportsman Soccer League/United Boys	\$18,755	\$25,465
AAN Services	07664	United Tournament Referees	-	\$19,989
Village Green Baptist Church	07816	Facility Rental (United)	-	\$5,750
Maria Selvaggio	07329	United Soccer	\$5,150	\$11,350
Chad Swieca – Soccer Speed LLC	07600	United Soccer	\$4,800	\$2,400
Joe Cali	07321	United Soccer	\$11,340	\$17,185
Justin Potts	07126	United Soccer	\$10,600	\$17,702
Teresa McCoyd	07362	United Soccer	\$8,333	\$13,375
Samir Rahmouni	07123	United Soccer	\$13,400	\$14,625
Elias McCloud	05010	United Soccer	\$11,400	\$2,100
Unla Hussein	07454	United Soccer	\$12,550	\$2,317
Daniel Rychenkov	07233	United Soccer	\$9,700	\$13,700

Vendors over \$30,000 State Bidding Law	Vendor Number	Service Provided	2024	2025
Hot Shot Sports	06851	Youth Athletic Programs	\$95,400	\$83,843
Soccer Shots (Carly's Kickers LLC)	05083	Youth Soccer Programs	\$59,496	\$65,261
Chicagoland Whistles, Inc.	06978	Referees (Basketball)	\$42,199	\$47,221
Naperville Yard	05756	Facility Rental (United)	\$51,169	\$49,230
Official Finders, LLC	04857	Referees/Officials (Football, Baseball/Softball)	\$103,703	\$77,955
Redlok Productions Inc.	09534	Cheer Competition and State Fees	\$60,705	\$84,375
Tumbling Times	06555	Tumbling Programs	\$53,065	\$66,338
Team Illinois Lacrosse	07309	Lacrosse Instruction	\$52,336	\$50,117
Chicagoland Indoor Soccer	07808	Indoor Soccer League	\$50,010	\$63,930
Rudy Keller	07067	United Soccer	\$99,242	\$80,400
Chris Whaley	07131	United Soccer	\$70,725	\$85,557
IWSL	00481	Illinois Women's Soccer League/United Girls	\$29,404	\$24,439
RJ Sisson Inc.	05264	Parent/Child Music Programs	\$28,514	\$26,444
Nathan Atkinson	07105	United Soccer	\$79,962	\$115,773
Timothy Dana Bowen (Play-Well TEKologies)	05384	Summer Camp Programs	\$31,715	\$29,848
Three Level Basketball LLC	07493	Basketball Instruction	\$26,762	\$67,956
TOCA Naperville	07155	Facility Rental (United)	-	\$20,795
Youth Performance Lab	07834	Youth Sports Performance Program	-	\$2,763
Bill George Youth Football League (BGYFL)	00120	Tackle Football League	\$23,780	\$28,387
BZR Assigning	07399	Soccer Referees	\$11,442	\$25,392
John Gosling	07117	United Soccer	\$24,513	\$37,925
Joel Kline	07119	United Soccer	\$16,413	\$36,600
NISL	00683	Northern Illinois Soccer League / United	\$19,524	\$85,605
Illinois Shotokan Karate	00449	Karate Programs	\$29,156	\$32,792
Chicago Classic Coach	05068	Transportation MLC Trips	\$27,338	\$29,069

PREVIOUS COMMITTEE/BOARD ACTION:

Athletic and Recreation Department specialized service vendors over \$19,999.99 was last approved by the Wheaton Park District Board of Commissioners on March 19, 2025. Wheaton Park District Finance Policies were last reviewed and approved by the Board of Commissioners on May 20, 2025.

REVENUE OR FUNDING IMPLICATIONS

Program fees and charges cover the cost of the services. In addition, the gross profit margin on most recreation/athletic program is a minimum of 34%.

RELATED POLICY

- A. Purchase of goods or services estimated to exceed in value the legal limit set by Illinois statutes shall follow these bidding procedures:

1. The Wheaton Park District shall award contracts for supplies, materials, and labor more than the legal limit to the lowest responsible bidder after proper advertisement and receipt of sealed bids. Exclusions include professional services, computer hardware and software and utility services including telecommunications and interconnect equipment, software, and services. Contracts for professional services exempted include those for services where the individuals possess a high degree of professional skill where the ability or fitness of the individual plays an important part. All these independent contractors are required to have a significant level of training and expertise in their specific area of service, whether it's sports aptitude or ability, coaching experience, licensing, certifications, or other requirements. In other words, the individual abilities and experience of the independent contractor are of the utmost concern in the contracting process.

RECOMMENDATION:

Recommend approval of the 2026 Athletic and Recreation Program Services Independent Contractor agreement amounts resulting in expenditures over \$19,999.99.

TO: Board of Commissioners
FROM: Michael Benard, Executive Director
RE: Communications and Survey Consulting
DATE: March 16, 2026



SUMMARY: Staff have received proposals from two consulting firms related to completing research and public communications concerning the board's contemplation of placing a bond referendum question on the November 2026 ballot to fund the renovation or re-construction of Rice Pool and Waterpark along with three other potential projects.

PREVIOUS COMMITTEE/BOARD ACTION: The Park Board discussed this topic on September 3, 2025 and January 17, 2026. Staff were directed to complete related research and solicit consulting relationships as appropriate for the board's further review, discussion and possible action.

REVENUE OR FUNDING IMPLICATIONS: The proposal for communications consulting has a cost estimate of not to exceed \$52,000 to \$61,000 based on a menu of services to choose from. The proposal for survey services is priced at \$29,875. These costs can be met through the approved 2026 operating budget.

STAKEHOLDER PROCESS: The services outlined by both consulting firms require both internal and external stakeholder engagement.

LEGAL REVIEW: Professional Services Agreements will be drafted by legal counsel as needed.

ATTACHMENTS:

- Proposal from Public Communications Inc.
- Proposal from AQuity Research

ALTERNATIVES:

RECOMMENDATION:

1. **Communications Consulting Services** – Motion to approve an agreement for professional services with Public Communications Inc. at a cost not to exceed \$62,000
2. **Survey Consulting Services** – Motion to approve an agreement for professional services with AQuity Inc. for \$29,875



February 26, 2026

Michael Benard, Executive Director
Wheaton Park District
102 E. Wesley Street
Wheaton, IL 60187
Via email: mbenard@wheatonparks.org
Cc: dsiciliano@wheatonparks.org

Dear Mike,

Thank you for considering Public Communications Inc. (PCI) as your communications partner as you advance priorities shaped by community feedback and informed by a comprehensive review of District assets, including Rice Pool. Your resident engagement efforts and recently updated Strategic Plan have provided a strong foundation for the District's next steps.

As you continue planning for the future, PCI is positioned to support your team in providing residents with clear, fact-based information grounded in research, fiscal responsibility and documented facility needs. Our approach emphasizes transparency, community engagement and public trust.

We understand that you and the Board of Commissioners are:

- Reviewing statistically valid survey data and resident feedback to confirm community needs
- Evaluating facility conditions and remaining useful life
- Identifying repair needs and associated costs
- Establishing project priorities
- Exploring potential funding sources

If the Board later determines voter authorization is necessary to address long-term infrastructure needs, PCI is poised to support that process through community engagement and, if appropriate, informational voter education.

VALUE TO THE PARK DISTRICT AND COMMUNITY

Wheaton Park District exists to serve all residents. As an entity funded by taxpayer dollars, the Park District may not advocate for a "yes" or "no" vote on a ballot question. It may, however, provide timely and accurate information so residents understand proposed projects, funding considerations and the implications of decisions.

As the District evaluates facility needs and potential funding options, communications should reflect the same discipline, transparency and responsiveness guiding Board deliberations. PCI's approach centers on three priorities:

- **Transparency & Accountability:** Taxpayers expect and deserve accurate information about how Park District resources are used and the financial implications of potential decisions. PCI will develop straightforward, accessible materials that clearly explain facility needs, funding options and potential tax impacts. Proactively addressing common questions helps strengthen community trust.

- **Community Engagement and Meaningful Dialogue:** Effective engagement goes beyond distributing materials. PCI will help create opportunities for two-way dialogue, providing multiple ways for residents to learn about and discuss facility needs and funding considerations. Whether through public meetings, FAQs or digital engagement, PCI prioritizes accuracy, accessibility and responsiveness.
- **Voter Education that Drives Participation:** If the Board places a question before voters, residents should have clear, factual information about what the measure would authorize and how it could affect the District. PCI will help ensure materials are balanced, understandable and aligned with statutory requirements so voters can make informed decisions.

SCOPE OF SERVICES

PCI's program is built on strategic, research-based communication that meets community members where they are, ensuring that all residents have access to accurate information in the manner they wish to be informed.

Our experience has shown that the most important first step is to listen to the community and confirm the extent to which the proposed facility improvements are perceived to address needs.

Communication Planning & Message Framework

Effective communication must be grounded in research, documented facility needs and Board direction.

PCI will work with District leadership to develop a strategic communications plan that outlines clear goals, measurable objectives and prioritized tactics. This roadmap will guide engagement efforts and ensure consistency across all channels.

PCI will also develop a key message framework supported by documented proof points, ensuring that all materials reflect accurate data, fiscal analysis and the District's planning process.

Qualitative Research

Listening remains essential as the District evaluates facility conditions and potential funding options.

PCI will conduct individual conversations with Board commissioners to understand priorities and anticipate questions and community dynamics. PCI may also facilitate structured discussion groups (focus groups) with key stakeholder audiences to gauge sentiment, identify information gaps and refine messaging. The discussion will be guided by the results of a statistically valid survey should the Board choose to re-engage a research company to distribute a follow-up community-wide survey.

Findings will be analyzed and summarized in an executive report highlighting themes, areas of clarity and remaining questions to inform communication strategy and materials development.

Board & Spokesperson Preparation

Clear, consistent communication from leadership supports transparency and public trust.

PCI will conduct a spokesperson preparation session for designated Commissioners and staff. Training will focus on the District's informational role, sharing key messages clearly, responding thoughtfully to difficult questions and maintaining professionalism in public settings.

PCI will also provide senior-level counsel at milestone Board meetings, including preparation for presentations related to facility findings, funding considerations or potential ballot action.

Media Relations

Proactive, factual media engagement supports accountability.

PCI will assist in preparing press materials tied to milestone moments, such as community information sessions, Board actions or updates related to facility and financial analyses. This may include drafting press releases, calendar announcements, letters to the editor and responsive statements as needed.

PCI will advise on media strategy and messaging consistency. The District will retain responsibility for distribution of materials and direct engagement with media outlets.

Community Relations & Education

Community engagement should provide residents with opportunities to learn, ask questions and understand documented needs.

PCI will develop public-facing materials such as Frequently Asked Questions (FAQs), internal Question & Answer (Q&A) documents, presentation talking points and supporting slide content to explain facility conditions, project priorities and funding considerations in clear language.

This may include preparation of informational mailers, postcards, flyers or other collateral materials, as well as outlining content for a dedicated website landing page. PCI will also recommend priority audiences and appropriate forums for presentations to support two-way dialogue.

If the Board takes action to advance a ballot question, communications materials will focus on providing factual information about what is proposed and how it may affect the District.

Digital Strategy & Support

Digital platforms are central to transparent and timely communication.

PCI will develop a digital education strategy that includes measurable objectives, a review of current social media channels and guidance for responding to online inquiries. This may include development of a response matrix, sample content, advertising recommendations, website content guidance and email communication recommendations.

Digital strategy will support consistency, accessibility and proactive management of misinformation.

Research, Planning & Program Management

Strong coordination ensures alignment and sustained momentum.

PCI will provide ongoing senior-level strategic counsel, facilitate regular check-in meetings with agendas and action steps and maintain a comprehensive timeline outlining milestones, responsibilities and deliverables.

Throughout the engagement, communications will reflect the District's role as a prudent steward of public resources, committed to transparency, fiscal responsibility and informed decision-making.

TIMING OF ENGAGEMENT

The next opportunity to place a ballot question before voters is November 2026, with Board action required no later than August 17, 2026. Communications planning will align with Board decision points and may adjust as facility and financial details are finalized.

- **Phase 1: Strategic Foundation & Fact-Finding** (Spring–Early Summer 2026)

Following contract execution, PCI will conduct leadership intake, review existing research and develop a communications plan focused on community engagement and documented facility needs. Initial FAQs and engagement materials may be prepared during this period.

- **Phase 2: Community Engagement & Board Deliberation** (Early–Mid Summer 2026)

As survey results, facility analyses and cost projections are refined, communications will support transparent public dialogue and informed Board deliberations. Messaging and materials may be updated as project scope and funding considerations are clarified.

- **Phase 3: Informational Voter Education (If Applicable)** (Late Summer–November 2026)

If the Board approves a Resolution to place a question before voters, communications will transition to providing factual, accessible information regarding what is proposed and its financial implications. This phase continues through Election Day and includes post-election communication, regardless of outcome.

PCI is committed to helping Wheaton Park District engage and inform residents. We are grateful to be considered as your partner and look forward to working with you as you consider options to advance important initiatives. Please let us know if you have any questions or need additional information.

All the best,



Jacqueline Rachev, APR, MNA | Sr. Account Supervisor | m: 847.656.6321 | jrachev@pcipr.com
[Public Communications Inc.](#) | 161 North Clark Street | Suite 2050 | Chicago, IL 60601

C: **Craig Pugh, APR** | President | m: 312.350.8535 | cpugh@pcipr.com

Attached: Scope of work and budget

SCOPE OF WORK AND BUDGET

The proposed budget that follows is based on the estimated time it will take to meet the Wheaton Park District's goals, professional standards to ensure quality work, and our previous experience developing and executing similar programs in the region.

Option 1
Communication Planning & Message Framework PCI will: <ul style="list-style-type: none">• Develop a communications plan (roadmap with strategies and tactics to support goals and measurable objectives)• Identify themes and develop a key message framework with supporting proof points
Qualitative Research (Facilitated Discussion Groups and Board Interviews) PCI will: <ul style="list-style-type: none">• Develop a facilitator's guide• Develop invitation language for client to send to discussion group participants• Facilitate two discussion groups with residents• Conduct 30-minute discussions with each Board member for intake• Collect and analyze data and summarize confidential findings from discussion groups and Board conversations to inform communications strategies and message development• Provide an executive summary report to highlight discussion findings
Board & Spokesperson Preparation PCI will: <ul style="list-style-type: none">• Conduct an in-person training session (up to two (2) hours) with up to ten (10) spokespersons focusing on the role of the spokesperson, sharing key messages and answering difficult questions
Media Relations PCI will: <ul style="list-style-type: none">• Create a community media list• Develop press releases/calendar announcements for milestones: community open houses/information sessions; Board vote to place referendum on ballot; post-election statements• Create one Letter to the Editor (from Board member, volunteer, etc.)• As needed, develop up to two (2) additional statements Client will distribute all press materials
Community Relations & Education: PCI will: <ul style="list-style-type: none">• Develop a Frequently Asked Questions (FAQ) document for public use• Develop a talking points document to assist with community presentations• Create and design a suite of materials including:<ul style="list-style-type: none">▪ Theme and complementary logo▪ Community education mailer (up to four) pages or postcard▪ Election information reminder postcard▪ PowerPoint deck template for community presentations▪ Up to two (2) additional print materials as needed (flyer, wallet cards, signage, etc.)• Create an outline for a proposed referendum landing page on the District's website with suggested content Client is responsible for printing and distribution of collateral materials (including securing mailing lists and arranging for delivery via post office)

<p>Digital Marketing Strategy & Support</p> <ul style="list-style-type: none"> • PCI will create and execute a digital education strategy that includes goals and measurable objectives, an audit of current social media channels, a proposed matrix for responding to social media inquiries, sample social media posts, social media advertising recommendations, content opportunities, and best practices, recommendations for website landing page content, email marketing guidelines and partner toolkit outline recommendations
<p>Research, Planning & Program Management</p> <p>PCI will:</p> <ul style="list-style-type: none"> • Conduct an intake meeting (up to 60 minutes) with leadership to align on program details, expectations, work flow and decision protocols • Facilitate bi-weekly 30-minute meetings with agenda and follow-up action items to maintain momentum • Provide senior-level strategic communications counsel • Create a program timeline with milestones, tactic due dates and responsibilities
<p>*All material delivery includes one round of client edits. Additional rounds of edits will be billed at our standard billing rates.</p>
<p>Total Program Fees: \$61,000 plus expenses not to exceed \$1,000 April – November 2026: \$7,625/month</p>

<p>Option 2</p>
<p>Communication Planning & Message Framework</p> <p>PCI will:</p> <ul style="list-style-type: none"> • Develop a communications plan (roadmap with strategies and tactics to support goals and measurable objectives) • Identify themes and develop a key message framework with supporting proof points
<p>Qualitative Research (Facilitated Discussion Groups and Board Interviews)</p> <p>PCI will:</p> <ul style="list-style-type: none"> • Develop a facilitator’s guide • Develop invitation language for client to send to discussion group participants • Facilitate two discussion groups with residents • Conduct 30-minute discussions with each Board member for intake • Collect and analyze data and summarize confidential findings from discussion groups and Board conversations to inform communications strategies and message development • Provide an executive summary report to highlight discussion findings
<p>Board & Spokesperson Preparation</p> <p>PCI will:</p> <ul style="list-style-type: none"> • Conduct an in-person training session (up to 90 minutes) with up to eight (8) spokespersons focusing on the role of the spokesperson, sharing key messages and answering difficult questions
<p>Media Relations</p> <p>PCI will:</p> <ul style="list-style-type: none"> • Develop press releases/calendar announcement templates for milestones: community open houses/information sessions; Board vote to place referendum on ballot; post-election statements • Create one Letter to the Editor (from Board member, volunteer, etc.) • As needed, develop one (1) additional statement

<p>Client will distribute all press materials</p> <p>Community Relations & Education:</p> <p>PCI will:</p> <ul style="list-style-type: none"> • Develop a Frequently Asked Questions (FAQ) document for public use • Develop a talking points document to assist with community presentations • Create and design a suite of materials including: <ul style="list-style-type: none"> ▪ Theme and complementary logo ▪ Community education mailer (up to four) pages or postcard ▪ Election information reminder postcard ▪ PowerPoint deck template for community presentations ▪ One (1) additional print material as needed (flyer, wallet cards, signage, etc.) • Create an outline for a proposed referendum landing page on the District’s website with suggested content <p>Client is responsible for printing and distribution of collateral materials (including securing mailing lists and arranging for delivery via post office)</p>
<p>Research, Planning & Program Management</p> <p>PCI will:</p> <ul style="list-style-type: none"> • Conduct an intake meeting (up to 60 minutes) with leadership to align on program details, expectations, work flow and decision protocols • Facilitate bi-weekly 30-minute meetings with agenda and follow-up action items to maintain momentum • Provide senior-level strategic communications counsel • Create a program timeline with milestones, tactic due dates and responsibilities
<p>*All material delivery includes one round of client edits. Additional rounds of edits will be billed at our standard billing rates.</p>
<p>Total Program Fees: \$52,000 plus expenses not to exceed \$1,000</p> <p>April – November 2026: \$6,500/month</p>

Proposed project fees are based on the estimated time and expertise to meet your goals, professional standards to ensure quality and our previous experience developing and executing similar programs. Expenses will be included on the end-of-month invoice and billed out at the end of the month they were incurred.

Fees are based on the following standard hourly billing rates:

- | | |
|--|---|
| Intern (\$65/hour) | Account Supervisor (\$200/hour) |
| Digital Marketing Associate (\$90/hour) | Media Relations Manager (\$200/hour) |
| Assistant Account Executive (\$100/hour) | Creative Director (\$225/hour) |
| Media Relations Associate (\$100/hour) | Sr Digital Marketing Manager (\$225/hour) |
| Digital Marketing Coordinator (\$115/hour) | Sr Account Supervisor (\$250/hour) |
| Media Relations Coordinator (\$125/hour) | Sr Consultant/Writer (\$250/hour) |
| Account Executive (\$125/hour) | Vice President (\$300/hour) |
| Digital Marketing Specialist (\$135/hour) | Principal (\$375/hour) |
| Sr Account Executive (\$150/hour) | Crisis Response (\$450/hour) |
| Media Relations Specialist (\$150/hour) | |
| Digital Marketing Manager (\$185/hour) | |

Standard Contract Provisions

We ask your agreement with the following provisions:

1. All agreements between Public Communications Inc. (PCI) and Wheaton Park District may be terminated upon 60 days' written notice by either party. It is understood that PCI may terminate this agreement upon 10 days' notice if it is not paid as required under this contract.
2. Modifications and/or supplemental agreements may be made by mutual agreement at any time and may be attached and become amendments to the basic contract upon signature by both parties it being understood that an email with a corresponding accepting email will also satisfy this requirement.
3. Wheaton Park District agrees and hereby does indemnify, defend and hold harmless PCI against any actions, claims, including PCI damages, costs, time (fees) and expenses, including reasonable attorney fees incurred in defending against any action arising from work undertaken by PCI as a result of this retention, including, without limitation, the preparation or release of materials cleared and approved for and on behalf of Wheaton Park District.
4. Wheaton Park District agrees that it shall not employ, hire or retain, or recommend to others the employment, hiring or retention of, as an employee, agent or independent contractor or otherwise, any person employed by PCI without prior written consent from PCI which may be withheld for any reason or no reason provided, however, that this limitation shall terminate with respect to any such person after he or she has been out of our employ for one year.
5. Payment of service and production invoices is due in full within 30 days of receipt of invoice. Payments due to PCI which are delinquent beyond the normal due date as noted on PCI invoices will be subject to a 1.5 percent carrying charge monthly. In addition, Wheaton Park District shall pay all costs of collection including attorneys' fees.
6. The underlying principle of compensation for services is that PCI will be compensated in a manner permitted to cover its costs and earn a reasonable profit for work satisfactorily performed. Accordingly, PCI may request an adjustment be made on a mutually agreeable basis at any time should the scope of the task dictate otherwise. If no such adjustment is agreed PCI may terminate the contract upon 10 days' notice.
7. PCI services are performed within the codes of professional standards for the practice of public relations established by the Public Relations Society of America, the Word of Mouth Marketing Association (WOMMA) and the Barcelona Principles of measurement. We will be pleased to supply a copy of the codes to all interested parties.
8. Please note AI technology may be used in the research and drafting of materials, deliverables and services throughout our engagement. Creating authentic and ethical work is PCI's promise. We will maintain confidentiality by refraining from entering sensitive, identifying or proprietary business information into generative AI platforms. In addition, we are committed to following rigorous internal protocols in our professional reviews, strategic processes and creative thinking to provide quality control and transparency if using AI-generated output to augment PCI's work for a client.

9. Please be aware that PCI offers crisis communications services, should a crisis need arise for Wheaton Park District. PCI offers these additional crisis communication services at an hourly rate of \$450. Crisis communications counsel may include helping Wheaton Park District to assess the crisis and determine actual or potential damage, parties affected, level of the situation, pertinent information required, communication response strategies, messaging, written materials required, standby statements, fact sheets and other collateral, determination and training of spokespersons, strategies for reputation recovery or rebuilding, ongoing social media monitoring, internal communications, media relations, strategy planning and execution, digital strategies, development and/or management of issue-specific microsite as needed.

CONCLUSION

We value the opportunity to work with Wheaton Park District. If the terms described here are acceptable, this letter can serve as our agreement.

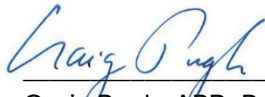
Please return one signed copy of this agreement to us (to jrachev@pciipr.com, copy to accountinggroup@pciipr.com), keeping a signed copy for your files.

All the best,



Jacqueline Rachev, APR, MNA | Sr. Account Supervisor | m: 847.656.6321 | jrachev@pciipr.com
[Public Communications Inc.](#) | 161 N. Clark | Suite 2050 | Chicago, Illinois 60601

Signed on behalf of Public Communications Inc. (PCI) by:



February 26, 2026

Craig Pugh, APR, President

Date

Signed on behalf of Wheaton Park District by:

Date

TO: *Mike Benard*

FROM: *Jeff Andreasen*

DATE: *March 2, 2026*

RE: *Proposal for Pre-Referendum Voter Survey*

Thank you again for the call last week and the update on what you and your Board are considering for a potential referendum for the Wheaton Park District (WPD).

To briefly recap, the District is interested in pursuing a GO bond referendum on the November ballot to address capital improvements on multiple facilities and recreational amenities, specifically:

- 2 options to test for Rice Pool & Water Park:
 - Renovation, or
 - Complete replacement
- Installing irrigation and drainage improvements on all major athletic/turf fields.
- Building a modest new field house with indoor gym space and synthetic turf.
- Adding year-round restrooms in all major parks.

The goal of the pre-referendum survey is to provide an early gauge of support for the two Rice Pool & Water Park options that you are considering and to help you and your Board make a decision before the filing date.

Our recommended approach for this survey follows.

Survey Design: We will begin with a kick-off discussion with you and your team to clarify the referendum options that you are considering, their costs (e.g., the GO bond dollar amounts in the ballot wording), and the impact on property taxes for a median-valued home in the District. The ballot wording would ideally come from your bond counsel, which we will want to incorporate into the questionnaire.

Assume a survey that averages no more than 10 minutes to complete. Among the topics covered in the questionnaire are:

- Confirming that the respondent is registered and likely to vote in the November election.
- Testing the actual ballot wording and whether they support or oppose it, and why (asked in an open-ended format).
 - Half of the sample will randomly respond to one option (lower cost for the Rice Pool renovation), and the other half will respond to the second option (higher cost for the full Rice Pool replacement). We can then compare the level of support between the two options.
- Testing the effectiveness of 6-7 pro-referendum arguments and which one is the most compelling statement.
- Likewise, testing the effectiveness of 6-7 anti-referendum statements and which is the most compelling.
- Re-testing the same ballot language to see if the arguments shift opinion (e.g., “not strongly support” to “strongly support”, or “not strongly oppose” to “strongly oppose”, etc.).
 - We can demographically profile those voters who change their mind and look at the statements that they found most convincing. This will provide great insights into your voter education efforts.
- Demographics (age, gender, party affiliation, WPD users vs. non-users, region, etc.).

In addition to your survey review/approval, we will need a copy of the WPD’s email database of District residents so that we can match it to the sampled voters. This will allow us to send invitations via email, reducing the turnaround time and cost.

Once the survey is approved, we will program the survey and procure a random sample of WPD voter households. Sampled respondents will be given three options to participate:

- Online: We will program and thoroughly test the online survey and will set up a secure website for data collection. We will send survey links to sampled households either by mail (after we match your email database to the street addresses in our sample), or by sending postcard invitations to the remaining sampled residents with the survey URL and a QR code.
- By Mail: For older residents (many of whom may be less comfortable responding online), we will send a printed paper questionnaire with a pre-paid return envelope.
- By Phone: All forms of outreach will include a toll-free number to our Evanston offices, allowing residents to complete the survey with one of our executive interviewers.

All forms of outreach – email, postcard, paper questionnaire – will include instructions to allow recipients to use an alternative survey format (e.g., the paper survey will include the URL, QR code and the phone number if an individual prefers either alternative).

Each voter will have a unique PIN that is required to access the survey and can be used only once. This PIN will prevent anyone from “gaming” the survey and responding multiple times.

Sampling and Data Collection: For the sample, we will work with you on procuring the voter database from the DuPage County Clerk’s office for the precincts within your boundaries. We will draw a random sample of registered voters who have voted in at least two of the most recent mid-term general elections. This will ensure that our sample reflects those most likely to vote on the November ballot, and will exclude non- and infrequent voters (e.g., those who only vote in Presidential elections).

- For those without an email match from your database, we will send the postcards and/or printed questionnaires.

We recommend a sample of at least $n=400$ voters, meaning at least $n=200$ responding to each of the two GO bonds being tested. When we analyze the results, we will compare the two samples to see which option garners stronger support. We will also profile the demographics of supporters and opponents on each option to see which one does better among key voter subgroups and regions.

Analysis and Deliverables: To ensure accuracy in the analysis stage, we will weight our voter respondents to align with the County Clerk’s dataset by region, age, gender, and partisan ID (based on actual ballots cast in recent Republican vs. Democratic primaries).

The analysis will be thorough, and we will present the full findings to you and your Board. I will assume up to two presentations (e.g., an initial virtual presentation to you and key staff, followed by an in-person presentation to the Board to allow for questions, feedback, etc.). Deliverables will include:

- A topline summary report on the overall findings (providing early results about two weeks before the final analysis).
- A clean, formatted Excel data file with all survey responses (with any PII removed to ensure anonymity).
- Digital banner tabs showing results to each question by key subgroups, with statistically meaningful differences identified.
- A full report on the findings, including an executive summary with recommendations, detailed analysis of every question, a summary of the survey methods, and sample verbatim responses to help clarify key findings.

Once the final deliverables are provided, we will remain available for unlimited phone consultation to answer questions and discuss ideas and strategies for a potential referendum. This includes coordinating with any consultants that you engage to assist with the voter education and outreach efforts.

In terms of timing, the goal is to have the voter list and sample prepped (with emails from the WPD matched) and the questionnaire finalized in April (assuming final construction costs are delivered by then). We will launch the survey in mid-May and aim to conclude data collection the first week of July (before the July 4th holiday). This will allow us to have results to you and the Board by the third week of July.

The estimated cost for the voter survey outlined in this proposal is \$29,875 and includes everything above. Once the findings are presented, we are committed to work with you and your team through election day.

Thank you again for this opportunity as you evaluate your research options. Once you have reviewed this proposal, let me know if you have any questions. I look forward to hearing from you.

Wheaton Park District Xerox Fleet Upgrade Solution Proposal

Wheaton Park District
Prepared by John Benjamin





Mike Benard
Director
Wheaton Park District
102 E Wesley St.
Wheaton, IL 60187

Dear Mike:

Our proposal to supply a Xerox solution

Further to our recent discussions, I am pleased to enclose our proposal to provide your organization with our recommended solution. I believe that it fully meets your stated requirements while offering:

- The power and performance you need to satisfy your organization's requirements now, and in the future.
- Superior quality output with every job.
- An ease of use, versatility and built-in reliability that will enhance productivity throughout your business.
- Improved cost control and easy device management.
- Excellent security.
-

About Xerox

Xerox is a technology leader that innovates the way the world communicates, connects, and works. We understand what's at the heart of sharing information - and all of the forms it can take. We embrace the integration of paper and digital, the increasing requirement for mobility, and the need for seamless integration between work and personal worlds. Every day, our innovative print technologies and intelligent work solutions help people communicate and work better. Discover more at <http://www.xerox.com> and follow us on Twitter at [@Xerox](#).

I hope that the proposal meets with your satisfaction, and I look forward to your order. In the meantime, if you have any questions or if anything is unclear then please contact me or any member of my team.

Yours sincerely,

John Benjamin
Government/Education Sales Representative
815.954.3403
john.benjamin@xerox.com

Executive Summary

Xerox upgrade recommendation

Upgrade the 12-year-old Xerox fleet to the latest Xerox technology.

In-person confirmation of requirements for each park district location for the upgraded Xerox model.

Use the low-cost group purchasing contract available to public sector businesses in Illinois.

The new rates per page are fixed for the full 60-month lease term.

Provide end-user training and network connectivity upon delivery to each location.

Removal of old Xerox fleet to scrap at our warehouse.

Utilize the Fleet Management Portal to order service and supplies as needed. Logins to be provided to users.

Complete the installation by March 31, 2026.

Additionally, continue the service agreements for the Xerox copiers at the Prairie Graphics office and the Arrowhead banquet office, and for the few HP printers in place at park district locations.

Brief history of the Xerox copier fleet in the park district.

Initial installation of Xerox fleet was November 30, 2015. 60-month lease contract.

FMV purchase transaction of leased copiers in December 2020

Service contract for the copiers has been active since the installation date. The present Xerox fleet was designated as end of life in 2024.

The park district saved thousands of dollars negotiating the same service rates on the Xerox fleet for the duration of the copier fleet installation.

Components of our Financial Solution

Equipment	Quantity
Xerox B8270-Community Center	1
Xerox C8270- Community Center lower level	1
Xerox C8270- Museum	1
Xerox C8255- Prairie front office	1
Xerox C7125- Lincoln Marsh, Lubko Center, Cosley Zoo	3
Xerox C8245- Park services	1
Accessories	Quantity
As described in the product descriptions	See the preceding pages

Service Contract

We can offer you a comprehensive service contract that includes Xerox consumables, telephone support and on-site maintenance of your equipment.

Xerox model	Number of Black and White pages included	Number of Color pages included	Excess Black and White copy charge	Excess Color copy charge
B8270	0	0	\$.0046	n/a
C8270	0	0	\$.0053	\$.042
C8255	0	0	\$.0056	\$.0446
C7125	0	0	\$.0066	\$.0453
C8245	0	0	\$.0061	\$.045

These rates include supply of Cyan, Magenta, Yellow and Black toners, regardless of toner yield. Specialty dry inks can be purchased separately This service contract covers parts, labour, and travel. It includes the print engine and associated connection.

Description of Training	Total Price
End-user training	Included in pricing
Description of Professional Services	Total Price
Network connectivity	Included in pricing

Current Cost

Current System	Current System	Comments
ANNUAL Service:	\$14,870	This amount applies only to the existing models to be upgraded.
Monthly Lease:	\$ n/a	
# B&W Copies Included:		
# Color Copies Included:		
Excess B&W Copy Charge:	\$.005	
Excess Color Copy Charge:	\$.05	

Proposed Cost- (State of Illinois group purchasing contract)

Proposed System	Proposed System	Comments
ANNUAL Lease:	\$13,373.16	All equipment on the prior page
ANNUAL Service:	\$13,401.80	
Excess B&W/Color Copy Charge:	\$	As displayed in the service contract section above
Total ANNUAL Cost:	\$26,774.96	

This quote is valid until March 31, 2026, and is subject to change at that time.

Contact information: John Benjamin, John.Benjamin@xerox.com 815.954.3403

The contents of this proposal are Xerox private data and are provided for the exclusive use of the addressee. The contents herein may not be reproduced without the specific written permission of Xerox. This proposal is for informational purposes only and does not constitute a contract or an offer to contract. Should you find this proposal of interest, we would be pleased to submit contract terms.

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Xerox Workplace Print Management Solutions

Our comprehensive print management solution helps connect your team's technology seamlessly—while providing the security, access control and usage tracking that organizations need.

No matter where your team is working, they need an easy and convenient way to connect and access your company's printer and services. Whether they're scanning with an MFP app or printing from an office-based desktop computer, laptop, Chromebook or a mobile device on the go, Xerox Workplace Solutions connects them to your multifunction printer effortlessly. All the while, you maintain control of user access, with complete visibility of document usage and content across your fleet.

Components of our Solution

Workplace Office Assistants

Xerox digital printers are the workhorses of today's office life, and they come in many forms, for every kind of business. Multifunction printers (MFPs) do it all, from printing, scanning, and copying to faxing and sending emails. Customizable apps make them more akin to office assistants than digital printing equipment.

Our printers are as fast as they are easy to use, while our high-speed, high-volume digital presses are ideal for commercial printers and graphic artists. For help choosing the best printer for your business, check out the Xerox Office Product Selector or Xerox Product Explorer.

C8245

Why harness the power of AI technology in a multifunction printer? Simple. Because busywork isn't your job. Our new AI-supported AltaLink 8200 Series Multifunction Printers are true Workplace Assistants that adapt to you and flex with you, automating tedious tasks so you can focus on what matters most.

Key Features

- Copy, print, scan, fax, and email
- Streamline complex jobs with AI-assisted technology
- Enjoy a tablet-like interface that simplifies and accelerates repetitive work
- Connect and print seamlessly via Wired, Wi-Fi®, Wi-Fi Direct®, Bluetooth™, NFC, and Cloud
- Right fit for busy offices. Customize your configuration for simple to demanding applications.
- Comprehensive security with simplified implementation is built in



Selected Items

- 1 x C8245_ENGH2 -
- 1 x 304S00273 - AltaLink C8245 Digital Enablement Sold
- 1 x 097S05019 - 2000 sheet Office Finisher

C8255

Why harness the power of AI technology in a multifunction printer? Simple. Because busywork isn't your job. Our new AI-supported AltaLink 8200 Series Multifunction Printers are true Workplace Assistants that adapt to you and flex with you, automating tedious tasks so you can focus on what matters most.

Key Features

- Copy, print, scan, fax, and email
- Streamline complex jobs with AI-assisted technology
- Enjoy a tablet-like interface that simplifies and accelerates repetitive work
- Connect and print seamlessly via Wired, Wi-Fi®, Wi-Fi Direct®, Bluetooth™, NFC, and Cloud
- Right fit for busy offices. Customize your configuration for simple to demanding applications.
- Comprehensive security with simplified implementation is built in



Selected Items

- 1 x C8255_ENGH2 -
- 1 x 304S00274 - AltaLink C8255 Digital Enablement Sold
- 1 x 097S05019 - 2000 sheet Office Finisher

C8270

Why harness the power of AI technology in a multifunction printer? Simple. Because busywork isn't your job. Our new AI-supported AltaLink 8200 Series Multifunction Printers are true Workplace Assistants that adapt to you and flex with you, automating tedious tasks so you can focus on what matters most.

Key Features

- Copy, print, scan, fax, and email
- Streamline complex jobs with AI-assisted technology
- Enjoy a tablet-like interface that simplifies and accelerates repetitive work
- Connect and print seamlessly via Wired, Wi-Fi®, Wi-Fi Direct®, Bluetooth™, NFC, and Cloud
- Right fit for busy offices. Customize your configuration for simple to demanding applications.
- Comprehensive security with simplified implementation is built in



Selected Items

- 1 x C8270_ENGH2 -
- 1 x 304S00276 - AltaLink C8270 Digital Enablement Sold
- 1 x 497K22510 - BR Finisher With 2/3 Hole Punch And Horizontal Transport Kit
- 1 x 097S05020 - 3000 sheet High Capacity Feeder

VersaLink C7125

Along with built-in, comprehensive security features, the VersaLink C7125 Multifunction Printer delivers the everyday, must-have capabilities you need now with plenty of room to add new features as your work evolves.

- Up to 25 ppm
- Up to 1200 x 2400 dpi
- 130-sheet Single-Pass Duplex Automatic Document Feeder
- 7-inch capacitive color touch screen user interface featuring full customization and personalization
- Print and scan directly to and from the cloud with services like Box®, Microsoft® OneDrive®, Google Drive™, Dropbox™ and Microsoft Office 365™.
- Mobile printing support across multiple platforms and NFC Tap-to-Pair
- Maximum paper capacity: 5,140 sheets
- Xerox® ConnectKey® Technology



Selected Items

- 1 x C7125_ENGD2 -
- 1 x 304S00212 - VersaLink C7125 Digital Enablement Sold
- 1 x 097S04847 - 500 sheet Integrated Finisher (20 - 55 ppm only)
- 1 x 497K17750 - 1 Line Fax Kit + Ifax

B8270

Why harness the power of AI technology in a multifunction printer? Simple. Because busywork isn't your job. Our new AI-supported AltaLink 8200 Series Multifunction Printers are true Workplace Assistants that adapt to you and flex with you, automating tedious tasks so you can focus on what matters most.

Key Features

- Copy, print, scan, fax, and email
- Streamline complex jobs with AI-assisted technology
- Enjoy a tablet-like interface that simplifies and accelerates repetitive work
- Connect and print seamlessly via Wired, Wi-Fi®, Wi-Fi Direct®, Bluetooth™, NFC, and Cloud
- Right fit for busy offices. Customize your configuration for simple to demanding applications.
- Comprehensive security with simplified implementation is built in



Selected Items

- 1 x B8270_ENGH2 -
- 1 x 304S00255 - AltaLink B8270 Digital Enablement Sold
- 1 x 497K22510 - BR Finisher With 2/3 Hole Punch And Horizontal Transport Kit

TO: Board of Commissioners

FROM: Brian Kimbrough, Director of Parks & Planning
Steve Hinchee, Superintendent of Planning

THROUGH: Michael Benard, Executive Director

RE: Graf Park Field Turf Replacement Project

DATE: March 18, 2026



SUMMARY:

The synthetic turf field at Graf Park was constructed in 2014. These fields are anticipated to last 10 to 12 years. The existing field at Graf Park is a Field Turf 3-layer system, which is unique to Field Turf. The proposed system would also be a 3-layer system.

Previously the district contracted the installation of the synthetic turf from Field Turf through a cooperative purchase agreement. Staff requested a cooperative purchase proposal for the replacement of the turf surface.

Construction is scheduled to begin in July 5, 2026.

Other site work related to the track, bleachers and batting cages was bid separately.

PREVIOUS COMMITTEE/BOARD ACTION:

A contract with Wight was approved at the May 21, 2025, board meeting for 2025 Graf Field Replacement and District Field Study.

The concept was reviewed and discussed at the Capital Projects review meeting on January 17, 2026.

REVENUE OR FUNDING IMPLICATIONS:

Item	Account #	Budget	Expense
Graf Park Turf	40-800-815-57-5701-0000	\$550,000	\$568,032
Graf Track, Bleachers & Batting Cages	40-800-815-57-5701-0000	\$320,000	\$295,855
Total		\$870,000	\$863,887

STAKEHOLDER PROCESS:

The scope and specifications were discussed with the Athletics Department.

LEGAL REVIEW:

Our legal counsel provided front-end specifications and agreements for bidding.

ATTACHMENTS:

Field Turf proposal dated January 15, 2026

ALTERNATIVES:

N/A

RECOMMENDATION:

It is recommended that the Wheaton Park District Board of Commissioner's approve the coop purchase with Field Turf in the amount of \$568,032 plus a 10% contingency in the amount of \$56,803.20.

COOP PRICING PROPOSAL



WHEATON PARK DISTRICT

January 15, 2026

FieldTurf USA, Inc. is pleased to present the following proposal. FieldTurf pricing is based on the Sourcewell contract (formerly NJPA). Sourcewell provides predetermined preferential pricing through approved vendors. Since the products have already been bid at the national level, individual municipalities do not have to duplicate the bidding process per Sourcewell Contract # 031622-FTU.



Click on the following Sourcewell hyperlink for contract due diligence documentation:
[Sourcewell](#)

FIELD NAME	Football Field
TURF SYSTEM	CORE 2.25" (FTCORE-57)
SQUARE FOOTAGE	78,208 SF
FIELD MARKINGS	Football, Soccer, MLAX
TOTAL PRICE	\$568,032

COOP PRICING PROPOSAL



PRODUCT DETAILS

FieldTurf, the worldwide leader in artificial turf, is pleased to offer the FieldTurf CORE 2.25" (FTCORE-57) and XM360 2.25" (XM360-57) systems, with the following product characteristics:

CORE 2.25 (CORE-57)

- ▶ **Pile Height:** 2.25 Inches
- ▶ **Infill Weight:** 6.2lbs sand & 2.2lbs cryo per sq.ft.
- ▶ **Pile Weight:** 38 oz/yd²
- ▶ **Total System Weight:** 1270 oz/yd²

FieldTurf has taken the necessary steps to ensure that your project will run smoothly and that the quality promised will be the quality delivered.

PRICE INCLUDES:

- a) Removal and disposal of existing field.
- b) Fine grading of existing base.

**** FieldTurf will accept rough grade of compacted stone base within .1 feet of proposed subgrade finished elevation. FieldTurf will fine grade to within ¼" and roll stone base with a 3 ton roller. This assumes no more than four planes on any field unless stated in the price. Any additional planes will be charged on a time and equipment basis.**

- c) Installation of the artificial in-filled grass surface upon a suitable base.
- d) Installation of inlaid football, soccer, and MLAX markings.
- e) Installation of 11 inlaid end zone letters, "RAMS" & "WHEATON", approx. 15'H – 2 colors.
- f) Performance and Payment bonds.
- g) A 10-year 3rd party pre-paid insured warranty on the FieldTurf artificial grass surface.

PRICE DOES NOT INCLUDE:

- a) The base upon which the FieldTurf artificial turf surface will be placed. FieldTurf shall not be responsible for the stability, the porosity, nor the approval of the base upon which the FieldTurf surface will be installed, the drainage system, nor any construction or modification of existing installations around the fields.
- b) FieldTurf is not altering or improving the existing drainage system under the existing artificial turf limits. No removal, milling, ponding, flooding or repairs within the existing base and drainage system are included and shall remain the responsibility of the owner.
- c) The supply, replacement, installation and/or modification of the existing field edging, perimeter nailer board or existing inner concrete curbing within the artificial turf limits.
- d) The supply and import of additional finish aggregate.

COOP PRICING PROPOSAL



- e) Any costs associated with necessary charges relating to the delineation of the field.
- f) Unless otherwise specified, the price does not include any G-max testing.
- g) The supply of or adjustment to existing manholes, clean-outs or grates and supply of the manhole covers.
- h) The supply of or adjustments to existing manholes, clean-outs or grates, and supply of the manhole covers.
- i) Any alteration or deviation from specifications involving extra costs, which alteration or deviation will be provided only upon executed change orders, and will become an extra charge over and above the offered price.
- j) Site security.
- k) Repair or resurfacing existing asphalt parking lot if damaged by truck traffic.
- l) Site restoration, sodding, landscaping or grow-in.
- m) Permit fees, Inspection fees.
- n) A vehicle to tow FieldTurf maintenance equipment.
- o) All applicable taxes.
- p) Newly imposed Tariffs.
- q) Anything not explicitly noted in the inclusions.

The pricing set forth in this proposal is based on applicable tariffs, duties, and taxes in effect as of the proposal date. Any new or increased tariffs, duties, taxes, or similar charges imposed by the United States Government, whether at the federal or state level, on products included in this proposal after the proposal date shall be the sole responsibility of the Customer and will result in an adjust the proposed price accordingly. FieldTurf USA, Inc. reserves the right to modify pricing to reflect such additional costs, and the Customer agrees to bear any such increases.

The price is valid for a period of 90 days. The price is subject to increase if affected by an increase in raw materials, freight, or other manufacturing costs, a tax increase, new taxes, levies or any new legally binding imposition affecting the transaction. The parties recognize that the effects of global economic instability are currently unpredictable and could lead to limitations in labor availability and delays in the supply and delivery of materials, equipment or products. In addition, as these contingencies have not been factored into this proposal; materials, equipment and/or products to be used in performing the work may become subject to a price increase. Accordingly, it is acknowledged that the seller/FieldTurf shall (a) not be subject to any damages for any delay due to events beyond its control and, (b) be allowed an equitable adjustment of the time and/or of the price of this proposal or any contractual document resulting therefrom. FieldTurf shall endeavor to notify you as soon as possible of any such events and/or contingencies. Please note that the seller/FieldTurf shall use its best efforts to ensure that it fulfills its commitments and will strive to minimize any negative impacts as they may arise. Thank you for your kind understanding.

Please feel free to reach out to any member of our project team with questions about our offer:

Morgan Underwood
Project Manager
(706) 331-4340
Morgan.Underwood@FieldTurf.com

Brian Smykowski
Regional Sales Manager
(773) 569-1038
Brian.Smykowski@FieldTurf.com

Thank you again for your interest in FieldTurf, we look forward to working with you.

COOP PRICING PROPOSAL



The present proposal serves to provide an overview of the terms and conditions governing the business relationship between the parties for the completion of the above-referenced transaction. The parties hereby undertake to subsequently formalize their agreement by signing a more detailed agreement and/or purchase order ("Contract") and as such the amount listed herein shall be an estimate which will be formalized in said Contract.

By its signature(s) below, the customer acknowledges having read and accepted this proposal and undertakes to be bound by it.

Per:



Darren Gill, Executive Vice-President
FieldTurf North America / Tarkett Sports

Owner Signature

Printed Name and Title

FieldTurf USA, Inc. holds the Cooperative Purchase contract, any PO for Contract must be made out to FieldTurf USA, Inc. 175 N Industrial Blvd NE, Calhoun, GA 30701

If you have questions regarding the FieldTurf and Beynon SmartBuy Cooperative Purchasing Program, please contact Eric Fisher at: Eric.Fisher@smartbuycooperative.com.



COOP PRICING PROPOSAL



CONDITIONS

Notwithstanding any other document or agreement entered into by FieldTurf in connection with the supply and installation only of its product pursuant to the present bid proposal, the following shall apply:

- a) This bid proposal and its acceptance is subject to strikes, accidents, delays beyond our control and *force majeure*.
- b) FieldTurf's preferred payment terms are as follows: (i) 50% of the Price upon Customer's execution of contract; (ii) 40% of the Price upon shipment of materials from FieldTurf's manufacturing facility; and (iii) Remaining balance of ten percent (10%) upon substantial completion of the field, which shall be achieved when Customer is able to use the field for its intended purpose, even if punchlist items remain and the Certificate of Completion has not been executed by Customer.
- c) Accounts overdue beyond 30 days of invoice date will be charged at an interest rate of 10% per annum.
- d) FieldTurf requires a minimum of 21 days after receiving a fully executed contract or purchase order and final approvals on shop drawings to manufacture, coordinate delivery and schedule arrival of installation crew. Under typical field size and scenario, FieldTurf further requires a minimum of 28 days per field to install the Product subject to weather and *force majeure*.
- e) FieldTurf requires a suitable staging area. Staging area must be square footage of field x 0.12, have a minimum access of 15 feet wide by 15 feet high, and, no more than 100 ft from the site. A 25 foot wide by 25 foot long hard or paved clean surface area located within 50 feet of the playing surface shall be provided for purposes of proper mixing of infill material. Access to any field will include suitable bridging over curbs from the staging area to permit suitable access to the field by low clearance vehicles. Staging area surface shall be suitable for passage with motor vehicles used to transport materials to the site and/or staging area. FieldTurf shall not be liable for any damages to the staging area or its surface unless such damages are caused by FieldTurf's intentional misconduct or negligence.
- f) This proposal is based on a single mobilization. If the site is not ready and additional mobilizations are necessary, additional charges will apply.
- g) Upon substantial completion of FieldTurf's obligations, the Customer shall sign FieldTurf's Certificate of Completion in the form currently in force; to accomplish this purpose, the Customer will ensure that an authorized representative is present at the walk-through to determine substantial completion and acceptance of the field, which may include a list of punch list items.
- h) FieldTurf shall not be a party to any penalty clauses and/or liquidated damages provisions.
- i) FieldTurf shall be entitled to recover all costs and expenses, including attorney fees, associated with collection procedures in the event that FieldTurf pursues collection of payment of any past due invoice.
- j) All colors are to be chosen from FieldTurf's standard colors.

THE TARKETT SPORTS FAMILY - LEADERS IN SPORTS SURFACING



TO: Board of Commissioners

FROM: Brian Kimbrough, Director of Parks and Planning
Steve Hinchee, Superintendent of Planning

THROUGH: Michael Benard, Executive Director

RE: 2026 Graf Park Improvements Projects

DATE: March 18, 2026



SUMMARY:

Staff has been working with Wight Engineering on improvement plans for facilities at Graf Park. The scope of work includes removing and replacing the bleachers on the north side along with removing and replacing the running track which is in poor condition. Additionally new items batting cages will be installed, along with a small detention basin required by permitting.

The artificial turf surface will be replaced under a separate contract direct with Field Turf.

Bids were solicited on February 11, 2026, and opened on February 25, 2026. The results were as follows:

Contractor	Base Bid
Innovation Landscape Inc.	\$295,855.00
E Hoffman Inc.	\$360,185.00
Troch-McNeil	\$422,280.00
Martam Construction	\$491,685.00

PREVIOUS COMMITTEE/BOARD ACTION:

A contract with Wight was approved at the May 21, 2025, board meeting for 2025 Graf Field Replacement and District Field Study.

The concept was reviewed and discussed at the Capital Projects review meeting on January 17, 2026.

REVENUE OR FUNDING IMPLICATIONS:

Item	Account #	Budget	Expense
Graf Park Turf	40-800-815-57-5701-0000	\$550,000	\$568,032
Graf Track, Bleachers & Batting Cages	40-800-815-57-5701-0000	<u>\$320,000</u>	<u>\$295,855</u>
Total		<u>\$870,000</u>	<u>\$863,887</u>

STAKEHOLDER PROCESS:

The scope and specifications were discussed with the Athletics Department.

LEGAL REVIEW:

Our legal counsel provided the front-end bid documents and sample legal agreement that will be used with the selected bidder.

ATTACHMENTS:

Layout Plan

Wight recommendation letter.

ALTERNATIVES:

N/A

RECOMMENDATION:

It is recommended that the Wheaton Park District Board of Commissioners accept the bid from Innovation Landscape for \$295,855.00 with a 10% contingency of \$29,585.50.



February 27, 2026

Steve Hinchee
Superintendent of Planning
Wheaton Park District
1000 Manchester Road
Wheaton, IL 60187

RE: 2025 Graf Park Field Improvements

Dear Mr. Hinchee,

On February 25, 2026, bids were received by Wheaton Park District for the 2025 Graf Park Field Improvement Project. A total of 4 contractors submitted bids: Please see the attached bid tabulation sheet. The apparent low bidder is Innovation Landscape Inc. out of Oswego, Illinois, with a Base Bid of \$295,855.00.

Wight & Company has reviewed the project with the low bidder to confirm that they have accounted for all the scope per the bid documents. Wight reviewed references, who indicated that the projects went well, and the client would work with the low bidder again.

Based upon our evaluation of the bids, our scope review, and the references provided, Wight & Company recommends the award of the contract to Innovation Landscape Inc. in the amount of \$295,855.00.

Please contact me should you have any questions regarding these matters.

Respectfully submitted,

Sincerely,

WIGHT & COMPANY

A handwritten signature in black ink, appearing to read "D. Evans". The signature is fluid and cursive, with a long horizontal stroke at the end.

David Evans, PE
Project Manager

TO: Board of Commissioners

FROM: Brian Kimbrough, Director of Parks & Planning
Steve Hinchee, Superintendent of Planning

THROUGH: Michael Benard, Executive Director

RE: Atten & Seven Gables Park Backstops Painting Project

DATE: March 18, 2026



SUMMARY:

The paint on the poles of two backstops at Atten Park & two backstops at Seven Gables Park is in poor condition with significant peeling. Staff worked with a representative of Sherwin Williams to develop specifications and a scope of work. The scope of work to remedy this includes removing all the paint on the poles, cleaning the surface, priming and applying two coats of paint.

Bid specifications were sent to forty-five (45) contractors on February 11th, 2026, and five (5) bids were received. They were opened on February 25th, 2026, and the results are as follows:

Contractor	Base Bid - Atten, Fields #19 & #20	Base Bid- Seven Gables, Fields #1 & #2	Base Bid Total
Muscat Painting	\$9,424	\$9,424	\$18,848
A Plus Painters	\$11,250	\$11,250	\$22,500
K + J Painting	\$17,840	\$17,840	\$35,680
Mazarini	\$27,166.66	\$27,166.67	\$54,333.33
G.P. Maintenance	\$48,500	\$50,000	\$98,500

The references for Muscat Painting were checked and were found to be favorable.

PREVIOUS COMMITTEE/BOARD ACTION:

N/A

REVENUE OR FUNDING IMPLICATIONS:

Item	Account #	Budget
Supplies - Parks	20-101-000-53-5301-0000	\$20,000

STAKEHOLDER PROCESS:

The scheduling of the work was discussed with the Athletics department.

LEGAL REVIEW:

Our legal counsel provided front-end specifications and agreements for bidding.

ATTACHMENTS:

N/A

ALTERNATIVES:

N/A

RECOMMENDATION:

It is recommended that the Wheaton Park District Board of Commissioner's approve a contract with Muscat Painting for the base bid amount of \$18,848 plus a 10% contingency in the amount of \$1,884.80.

TO: Board of Commissioners

FROM: Brian Kimbrough, Director of Parks & Planning
Steve Hincee, Superintendent of Planning

THROUGH: Michael Benard, Executive Director

RE: Atten Park Tennis & Pickleball Courts Color Coating Project

DATE: March 18, 2026



SUMMARY:

The tennis & pickleball courts at Atten Park are in need of repairs and new color coating as part of ongoing maintenance. The scope of work includes cleaning, leveling depressions, crack filling, applying two coats of acrylic color, and re-stripping the playing lines.

Bid specifications were sent to thirteen (13) contractors on February 11th, 2026, and two (2) bids were received. They were opened on February 25th, 2026, and the results are as follows:

Contractor	Base Bid - (4) Tennis Courts	Alternate Bid- (2) Pickleball Courts	Base Bid + Alt. Bid Total
U.S. Tennis Courts	\$35,300	\$10,250	\$45,550
American Sealcoating of Indiana	\$43,500	\$10,000	\$53,500

U.S. Tennis Courts has worked with us in the past and we are satisfied with their work.

PREVIOUS COMMITTEE/BOARD ACTION:

N/A

REVENUE OR FUNDING IMPLICATIONS:

Item	Account #	Budget
Capital – Atten Park	40-800-805-57-5701-0000	\$55,000

STAKEHOLDER PROCESS:

N/A

LEGAL REVIEW:

Our legal counsel provided front-end specifications and agreements for bidding.

ATTACHMENTS:

N/A

ALTERNATIVES:

N/A

RECOMMENDATION:

It is recommended that the Wheaton Park District Board of Commissioner's approve a contract with U.S. Tennis Courts for the base bid amount of \$35,300 in addition to the alternate bid, for a total of \$45,550 plus a 10% contingency in the amount of \$4,555.



TO: Board of Commissioners

FROM: Brian Kimbrough, Director of Parks and Planning
Ian Pickett, Assistant Director of Parks and Planning

THROUGH: Michael Benard, Executive Director

RE: 2026 Contracted Mowing Services

DATE: March 18, 2026

SUMMARY:

The Wheaton Park District received bids for contracted mowing services in 2024, with the option to extend the contract for up to two (2) additional contract terms for the 2025 and 2026 seasons. Sebert Landscaping Inc. won the bid and has mowed and maintained approximately 17.8 acres of park space the past two years.

All eight (8) contracted mowing sites, listed below, are south of Butterfield Road, where transport and logistics make inhouse mowing difficult and inefficient:

- Arboretum Mews
- Albright Park
- Blacksmith Park
- Hull Park
- Scotts Cove Park
- Clydesdale Park
- Appleby Park
- Scottdale Park

Sebert has done a satisfactory job the past two years, and we recommend renewing the contract for the 2026 season for a total of \$23,400.00.

PREVIOUS COMMITTEE/BOARD ACTION:

The Board approved the bid results in January 2024 for Sebert's year one price of \$21,988.00.

REVENUE OR FUNDING IMPLICATIONS:

The FY2026 Budget includes \$23,400.00 in GL 10-101-000-52-5211-0000 'Service Agreements.'

STAKEHOLDER PROCESS:

Not applicable.

LEGAL REVIEW:

Not applicable.

ATTACHMENTS:

Sebert Landscape submitted bid dated November 16, 2023.

ALTERNATIVES:

Not applicable.

RECOMMENDATION:

We recommend renewing the mowing contract with Sebert for the 2026 season for a total of \$23,400.00.

WHEATON PARK DISTRICT – MOWING AND LINE TRIMMING SERVICES

Request for Proposal – October 30, 2023

Contact: Dan Hopkins, Superintendent of Parks, dhopkins@wheatonparks.org (630) 510-4972

SCOPE OF WORK

PROJECT: **Mowing and Line Trimming Services**

PROPOSAL DUE DATE: **November 16, 2023, 10 A.M.**

STARTING DATE: Upon approval by the Wheaton Park District Board of Park Commissioners and receipt of the signed contract and certificate of insurance naming the Wheaton Park District as the certificate holder and as additional insured.

SERVICE PERIOD: **April 1, 2024 through October 31, 2024**
April 1, 2025 through October 31, 2025
April 1, 2026 through October 31, 2026

Contractor is to provide the following seasonal mowing services at 8 Wheaton Park District Parks:

Park	Address	Acres of Mowed Turf
Arboretum Mews Park	2440 Leask Lane, Wheaton, IL	0.25
Hull Park	1400 Hull Drive, Wheaton, IL	2.13
Appleby Park	2314 Appleby Drive, Wheaton, IL	2.50
Albright Park	2350 Albright Lane, Wheaton, IL	1.50
Scotts Cove Park	1900 Scottsdale Circle, Wheaton, IL	2.10
Scottdale Park	1855 Scottdale Circle, Wheaton, IL	6.55
Blacksmith Park	2191 Blacksmith Drive, Wheaton, IL	1.33
Clydesdale Park	1845 Clydesdale Drive, Wheaton, IL	1.44

17.8 Total Acres

This project is not subject to prevailing wage rates.

The Owner will issue the contract on an annual basis with the option to renew yearly for up to 2 years.

The cost is for one season, (as described starting April 1 and concluding October 31). Additionally, it should be noted that the unit cost would allow the District to add or subtract weeks to that based on the weather (e.g. snow still on the ground in spring or warm weather into the fall).

PERFORMANCE SPECIFICATIONS

It is the intent of these specifications for the Contractor to provide a high level of service in grass mowing services. The following statements indicate the general standards and workmanship to be furnished under this Contract.

- A. **PREPARATION:** A mowing schedule will be negotiated with the Contractor upon awarding the contract. Each Monday morning by 8:00 A.M. the Contractor will fax or email the Owner the Daily Mowing Checklist indicating which sites are scheduled to be mowed that week. It is the Contractor's responsibility to adhere to the schedule and to ensure that all scheduled mowing is completed. Allowances are made for adverse weather conditions but each site will be mowed once every seven days. Mowing of each site will be completed on the day it is started. The Owner reserves the right to notify the Contractor when mowing is not necessary due to weather that has been too dry, wet, cold, or when special circumstances arise. **If no mowing is done, no payment will be made.**
- B. **MOWING TIMES:** Work hours are limited to 7:00 A.M to 4:00 P.M. Monday through Friday. All park sites are to be completed the same day, following the mowing specifications.
- C. **TRASH AND DEBRIS PICK UP:** Before mowing any site that Contractor will police the entire area and pick up all glass, litter and debris such as light branches and twigs. Any heavier limbs downed by storms or other causes are the Owner's responsibility. The Contractor will notify the Wheaton Park District immediately if any large limbs or other damage are found. It is unacceptable to mow litter or debris of any type that would detract from the cleanliness or safety of the site. If this occurs the Contractor must clean up the site again.
- D. **MOWING:** Mowers shall be set to cut the grass at 3.0 inches. The Wheaton Park District reserves the right to check equipment for compliance. Height may vary upon consultation with the Superintendent of Parks.
- E. **TRIMMING:** Once every seven (7) days line trimming (a.k.a. weed whipping) shall be conducted around all fixed structures including: trees, shrubs, sidewalks, buildings, fences, backstops, soccer goals, playground equipment, retaining walls, railroad embankments, footpaths, and paved areas at a height consistent with the mowed lawn areas. Grass and weeds shall be trimmed to the ground in all tree wells, shrub beds, flower beds, sidewalk cracks, and curb lines. In no way are existing trees, shrubs, flowers or other ornamental plants to be damaged by equipment or other tools during this process.
- F. **FINAL APPEARANCE:** Mowing patterns shall be such that the clippings are evenly distributed, not wind-rowed into noticeable deposits. The first two passes of side discharge mowers around all buildings, homes, fences, play equipment, tree rings, and shrub beds, must discharge clippings away from the buildings, homes, fences, play equipment, tree rings, and shrub beds. Grass clippings will not be allowed to accumulate on areas such as playgrounds, paths, sidewalks, basketball courts, roads, parking lots, etc. Removal of clippings should be done by a mechanical device to "blow" clippings back into grass away without leaving piles of grass clippings.
- G. **PERFORMANCE:** The Contractor will not mow, walk or use any equipment on turf areas when:

- Frost is present,
- Where standing water is present, or
- In areas saturated with water. Turf areas are considered saturated when water puddles in footsteps.

If mowing cannot be delayed and the Contractor has obtained the Owners permission, the Contractor may use a smaller piece of equipment that will not cause visible damage to the turf.

IMPORTANT: Failure to comply with the “Safe Use of Equipment” section can result in immediate termination of the Contract.

- H. **SAFE USE OF EQUIPMENT:** The Contractor will use/operate all equipment in a safe manner. All guards and shields will be kept in place to ensure the safety of workers and the public. When mowing or trimming in the presence of Park Users, the Contractor’s employees shall either mow an area of the site that will not affect the user’s activities, or when possible, request the users to suspend their activity temporarily so that the workers may finish. The Contractor will always remove the keys from all equipment and vehicles while they are not in use and never leave equipment running while unattended.
- I. **EQUIPMENT CONDITIONS:** All over-the-road vehicles or equipment shall be identified by the contractor’s name for purpose of identification. All tools or equipment required to carry out the operations within the scope of this contract shall be provided by the contractor and shall meet the standards of the Federal Occupational Safety and Health Act and State of Illinois safety codes as may be required by law. The Wheaton Park District reserves the right to inspect the equipment that will be used prior to award of contract.
- J. **FUELING AND OILING:** Equipment will be fueled and or oiled on hard surface areas only. The Contractor will immediately clean up hazardous material spills. It is the Contractor’s responsibility to repair turf areas damaged by improper fueling or oiling of equipment
- K. **PUBLIC CONTACT:** The Contractor and his representatives may be contacted in some manner by residents/users of the park. The employee(s) shall be instructed to politely inform the citizens to direct their comments and/or questions to the Wheaton Park District office at 1000 Manchester Road or call 630-510-4972.
- L. **SUPERVISION:** The Contractor shall provide a supervisor for all landscape mowing crews and will be on site when the buildings and parks are mowed. Failure to provide a qualified supervisor will be considered a default of the Contract unless the Owner is given prior notice.
- M. **EMPLOYEE IDENTIFICATION:** All grass mowing staff must wear their own company logo wear that will identify them as employees. All employees must also wear photo identification badges while on Park District premises

- N. PROBLEMS/COMPLAINTS:** The Contractor shall meet with the Superintendent of Parks once a month to discuss schedules problems, needs, and mutual areas of concern. A formalized system of communication between the Contractor and the Owner shall be determined by both parties once the contract has been awarded. The Contractor shall provide the Owner with emergency phone numbers for problems which shall be available 24 hours a day, seven days a week.
- O. PENALTIES:** If the Contractor does not complete the tasks outlined in this document in a timely and sufficient manner the Park District reserves the right to hold back payment until the work is completed in a satisfactory manner. If the Contractor does not complete the task in a timely manner the Park District reserves the right to complete the task and the cost will be deducted from the monthly bill. If problems are persistent and/or cause a disruption in park operation, the Owner reserves the right to immediately cancel the Contract. The Contractor shall be responsible for any additional costs incurred by the Owner in performing the remainder of the Contract.
- P. FEE ASSESSMENT**
Contractor fees should represent the cost of services scheduled and also include total labor, all equipment/materials for grass mowing services as outlined above, payroll and payroll taxes, all insurance and supervision. Owner prefers to receive a monthly invoice from the Contractor.

EVALUATION CRITERIA

The District will evaluate proposals in response to this Request for Quotation and will award the contract to the lowest qualified Contractor whose submittal best conforms to the solicitation and will be the most advantageous to the Owner.

SUPERVISION OF EMPLOYEES

The successful Contractor shall provide adequate competent supervision at all times during the performance of the contract. The Contractor shall designate a contact person and submit the information to the Owner prior to beginning work.

REMOVAL OF EMPLOYEES

The Owner may request the Contractor to immediately remove from assignment to the Owner's contract any employee found unfit to perform their duties due to one or more of the following reasons:

1. Neglect of duty.
2. Disorderly conduct, use of abusive or offensive language, quarreling or fighting.
3. Theft, vandalism immoral conduct or any other criminal action.
4. Selling, consuming, possession or being under the influence of intoxicants, including alcohol or illegal substances.

PERMITS

The Contractor shall obtain and pay for all licenses, permits and certificates required by any statute, ordinance, rule or regulation of any regulatory body having jurisdiction over the conduct of its operations hereunder.

SUPPLEMENTARY CONDITIONS

The following provisions supplement the terms and conditions of the Agreement:

1. INSURANCE REQUIREMENTS FOR CONTRACTORS

Contractor shall obtain insurance of the types and in the amounts listed below.

A. Commercial General and Umbrella Liability Insurance

Contractor shall maintain commercial general liability (CGL) and, if necessary, commercial umbrella insurance with a limit of not less than \$1,000,000 each occurrence. If such CGL insurance contains a general aggregate limit, it shall apply separately to this Contract/location.

CGL insurance shall be written on Insurance Services Office (ISO) occurrence form CG 00 01 04 13, or a substitute form providing equivalent coverage, and shall cover liability arising from premises, operations, independent contractors, products completed operations, personal injury and advertising injury, and liability assumed under an insured contract (including the tort liability of another assumed in a business contract).

Owner, its elected and appointed officials, employees and agents shall be included as an additional insured under the CGL, using ISO additional insured endorsement CG 20 10 or a substitute providing equivalent coverage, and under the commercial umbrella, if any. This insurance shall apply as primary insurance with respect to any other insurance or self-insurance afforded to Owner.

There shall be no endorsement or modification of the CGL limiting the scope of coverage for liability arising from pollution, explosion, collapse, or underground property damage.

B. Continuing Completed Operations Liability Insurance

Contractor shall maintain commercial general liability (CGL) and, if necessary, commercial umbrella liability insurance with a limit of not less than \$1,000,000 each occurrence for at least three years following Substantial Completion of the Work.

Continuing CGL insurance shall be written on ISO occurrence form CG 00 01 04 133, or substitute form providing equivalent coverage, and shall, at minimum, cover liability arising from products-completed operations and liability assumed under an insured contract.

Continuing CGL insurance shall have a products-completed operations aggregate of at least two times its each occurrence limit.

Continuing commercial umbrella coverage, if any, shall include liability coverage for damage to the insured's completed work equivalent to that provided under ISO form CG 00 01.

C. Business Auto and Umbrella Liability Insurance

Contractor shall maintain business auto liability and, if necessary, commercial umbrella liability insurance with a limit of not less than \$1,000,000 each accident. Such insurance shall cover liability arising out of any auto including owned, hired and non-owned autos.

Business auto insurance shall be written Insurance Services Office (ISO) form CA 00 01, CA 00 05, CA 00 12, CA 00 20, or a substitute form providing equivalent liability coverage. If necessary, the policy shall be endorsed to provide contractual liability coverage equivalent to that provided in the 1990 and later editions of CA 00 01.

D. Workers Compensation Insurance

Contractor shall maintain workers compensation as required by statute and employers' liability insurance. The commercial umbrella and/or employers liability limits shall not be less than \$1,000,000 each accident for bodily injury by accident of \$1,000,000 each employee for bodily injury by disease.

If Owner has not been included as an insured under the CGL using ISO additional insured endorsement CG 20 10 under the Commercial General and Umbrella Liability Insurance required in this Contract, the Contractor waives all rights against Owner and its officers, officials, employees, volunteers and agents for recovery of damages arising out of or incident to the Contractor's Work.

Contractor shall provide a waiver of subrogation on its workers compensation policy in favor of Owner and shall waive any limitation of its or its subcontractors' liability notwithstanding the limitation set forth in *Kotecki v. Cyclops Welding Corp.*, 146 Ill.2d 155 (1991).

E. General Insurance Provisions

1. Evidence of Insurance

Prior to beginning work, Contractor shall furnish Owner with a certificate(s) of insurance and applicable policy endorsement(s), executed by a duly authorized representative of each insurer, showing compliance with the insurance requirements set forth above.

All certificates shall provide for 30 days' written notice to Owner prior to the cancellation or material change of any insurance referred to therein. Written notice to Owner shall be by certified mail, return receipt requested.

Failure of Owner to demand such certificate, endorsement or other evidence of full compliance with these insurance requirements or failure of Owner to identify a deficiency from evidence that is provided shall not be construed as a waiver of Contractor's obligation to maintain such insurance.

Owner shall have the right, but not the obligation, of prohibiting Contractor or any Subcontractor from entering the Contract site until such certificates or other evidence that insurance has been placed in complete compliance with these requirements is received and approved by Owner.

Failure to maintain the required insurance may result in termination of the Contract at Owner's option.

With respect to insurance maintained after final payment in compliance with a requirement above, an additional certificate(s) evidencing such coverage shall be promptly provided to Owner whenever requested.

Contractor shall provide certified copies of all insurance policies required above within 10 days of Owner's written request for said copies.

2. Acceptability of Insurers

For insurance companies that obtain a rating from A.M. Best, that rating should be no less than A VII using the most recent edition of the A.M. Best's Key Rating Guide. If the Best's rating is less than A VII or a Best's rating is not obtained, the Owner has the right to reject insurance written by an insurer it deems unacceptable.

3. Cross-Liability Coverage

If Contractor's liability policies do not contain the standard ISO separation of insured's provision, or a substantially similar clause, they shall be endorsed to provide cross-liability coverage.

4. Deductibles and Self-Insured Retentions

Any deductibles or self-insured retentions must be declared to the Owner. At the option of the Owner, the Contractor may be asked to eliminate such deductibles or self-insured retentions as respects the Owner, its officers, officials, employees, volunteers and agents or required to procure a bond guaranteeing payment of losses and other related costs including but not limited to investigations, claim administration and defense expenses.

5. Pollution Legal Liability Insurance

Contractor shall obtain Pollution Legal Liability Insurance in addition to the other contractor insurance requirements. The **Contractor Pollution Legal Liability** and/or Asbestos Legal Liability and/or Errors and Omissions (if project involves actual or potential environmental hazards) shall have limits not less than \$1 million per occurrence or claim, and \$2 million policy aggregate.

6. Subcontractors

Contractor shall cause each Subcontractor employed by Contractor to purchase and maintain insurance of the type specified above. When requested by the Owner, Contractor shall furnish copies of certificates of insurance evidencing coverage for each Subcontractor.

F. Indemnification

To the fullest extent permitted by law, the Contractor shall indemnify and hold harmless the Owner and its officers, officials, employees, volunteers and agents from and against all claims, damages, losses and expenses including but not limited to legal fees (attorney's and paralegals' fees and court costs), arising out of or resulting from the performance of the Contractor's work or the products supplied by Contractor, provided that any such claim, damage, loss or expense (i) is attributable to bodily injury, sickness, disease or death, or injury to or destruction of tangible property, other than the work itself, including the loss of use resulting there from and (ii) arises from in whole or in part by any act or omission of the Contractor, any Subcontractor, anyone directly or indirectly employed by any of them or anyone for whose acts any of them may be liable, regardless of whether or not it is caused in part by a party indemnified hereunder. Such obligation shall not be construed to negate, abridge, or otherwise reduce any other right or obligation of indemnity which would otherwise exist as to any party or person described in this Paragraph. Contractor shall similarly protect, indemnify and hold and save harmless the Owner, its officers, officials, employees, volunteers and agents against and from any and all claims, costs, causes, actions and expenses including but not limited to legal fees, incurred by reason of Contractor's breach of any of its obligations under, or Contractor's default of, any provision of the Contract. Contractor's obligations under this section shall survive expiration or termination of the Contract.

**PROPOSAL TO THE WHEATON PARK DISTRICT BOARD OF PARK COMMISSIONERS
FOR MOWING AND LINE TRIMMING SERVICES**

The undersigned agrees that should this proposal be accepted by the Owner, the undersigned will be bound to the Wheaton Park District Board of Park Commissioners to furnish and deliver all materials and perform all work necessary for the Wheaton Park District to complete all items detailed in the written specifications for the amounts set forth as follows:

BASE PROPOSAL (Please complete in Ink or type)

PARK	2024	2025	2026
Arboretum Mews Park	\$ 404.00	\$ 422.00	\$ 422.00
Hull Park	\$ 2,994.00	\$ 3,182.00	\$ 3,182.00
Appleby Park	\$ 3,062.00	\$ 3,276.00	\$ 3,276.00
Albright Park	\$ 1,961.00	\$ 2,106.00	\$ 2,106.00
Scotts Cove Park	\$ 2,420.00	\$ 2,574.00	\$ 2,574.00
Scottdale Park	\$ 7,783.00	\$ 8,330.00	\$ 8,330.00
Blacksmith Park	\$ 1,571.00	\$ 1,638.00	\$ 1,638.00
Clydesdale Park	\$ 1,793.00	\$ 1,872.00	\$ 1,872.00
TOTALS	\$ 21,988.00	\$ 23,400.00	\$ 23,400.00

UNIT COSTS FOR MOWING AND LINE TRIMMING SERVICES

Item	Unit	Unit Cost
Additional Week of Service	Amount per Week <i>(To adjust season as needed)</i>	\$ 872.00

Unit Costs are in addition to base contract and will be handled by Change Orders, as needed.

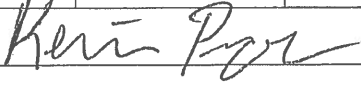
Addendums – Received and Acknowledged

Addendum No. 1 Dated: 11/9/23
 Addendum No. Dated:
 Addendum No. Dated:

COMPANY NAME: Sebert Landscape

**PROPOSAL TO THE WHEATON PARK DISTRICT BOARD OF PARK COMMISSIONERS
FOR MOWING AND LINE TRIMMING SERVICES**

The Contractor further certifies that the official name or title and the business address of the Company to be considered as of the making of this proposal is as follows:

COMPANY NAME:	Sebert Landscape					
CONTACT NAME:	Kevin Pryor					
TITLE:	Account Manager					
ADDRESS:						
	30W741 Butterfield Rd					
CITY, STATE and ZIP:	Naperville, IL 60563		FAX NUMBER:	630-898-8059		
PHONE NUMBER:	630-236-9350		E-MAIL:	kpryor@sebert.com		
CELL PHONE NUMBER:	630-688-8452					
DATED THIS	16	DAY OF	November	2023		
SIGNATURE:						

MOWING AND LINE TRIMMING SERVICES – REFERENCES

MUST SUBMIT FIVE (Within the past three 3 years)

81.	Project Name & Address:	Naperville Park District	
	Project Date:	2022	Phone: (630) 408-0413
	Owner & Contact Name:	Tom Stibbe	
	Contact Email Address:	tstibbe@napervilleparks.org	
	Description of Project:	Detail Maintenance and Enhancements	
2.	Project Name & Address:	Bollingbrook Park District	
	Project Date:	2020-Present	Phone: (630) 783-6562
	Owner & Contact Name:	Chris Finn	
	Contact Email Address:	cfinn@bolingbrookparks.org	
3.	Project Name & Address:	Park Ridge Park District	
	Project Date:	2021 & 2022	Phone: (847) 692-3516
	Owner & Contact Name:	Terry Wolf	
	Contact Email Address:	twolf@prparks.org	
4.	Project Name & Address:	The Morton Arboretum	
	Project Date:	2016-Present	Phone: (630) 968-0074
	Owner & Contact Name:	Todd Jacobson	
	Contact Email Address:	tjacobson@mortonarb.org	
5.	Project Name & Address:	Courthouse Square Community & Apartments	
	Project Date:	2019-Present	Phone: (630) 620-1133
	Owner & Contact Name:	Amber Carpenter	
	Contact Email Address:	COUSQCOM@ciramail.com	
	Description of Project:	Maintenance, detail work, enhancements	
	COMPANY NAME:	Sebert Landscape	

**PROPOSAL TO THE WHEATON PARK DISTRICT BOARD OF PARK COMMISSIONERS
FOR MOWING AND LINE TRIMMING SERVICES**

STATEMENT OF CONTRACTOR'S QUALIFICATIONS

All questions must be answered, and the date given must be clear and comprehensive. This statement must be notarized. If necessary, questions may be answered on separate attached sheets. The Contractor may submit any additional information he desires.

Name of Contractor:

Sebert Landscape

Permanent main office address:

30W741 Butterfield Rd. Naperville, IL 60563

When organized:

1985

If a corporation, where incorporated:

N/A

How many years you have been engaged in business?

39 years

General scope of work or products supplies:

Design, Build, Maintain

Have you ever failed to complete any work awarded to you?

No

If so, where, and why:

N/A

Have you ever defaulted on a contract?

No

Credit available:

\$ 10,000,000

Give Bank reference:

Building Stronger Bonds Bonding Services Corp

Bank Address:

1320 Tower Rd, Ste 166. Schaumburg, IL 60173

Bank Phone #:

(847) 301-4255

Will you, upon request, fill out a detailed financial statement and furnish any other information required by Wheaton Park District? Yes

PROPOSAL TO THE WHEATON PARK DISTRICT BOARD OF PARK COMMISSIONERS

FOR MOWING AND LINE TRIMMING SERVICES

STATEMENT OF CONTRACTOR'S QUALIFICATIONS

The undersigned hereby authorizes and requests any person, firm or corporation to furnish any information requested by Wheaton Park District in verification of the recitals comprising this Statement of Contractor's Qualifications.

Dated at Naperville this 16th day of November, 2023

Sebert Landscape
Name of Contractor

By Kevin Pryor

Title Account Manager

State of Illinois)

SS.

County of Cook)

Kevin Pryor being duly sworn deposes and says that he/she
is Account Manager of Sebert Landscape
Title Name of organization

And that the answers to the foregoing questions and all statements therein contained are true and correct.

Subscribed and sworn to before me this 16th day of November, 2023

Eyleen Flores
Notary Public

My commission expires January 26, 2027



**PROPOSAL TO THE WHEATON PARK DISTRICT BOARD OF PARK COMMISSIONERS
FOR MOWING AND LINE TRIMMING SERVICES**

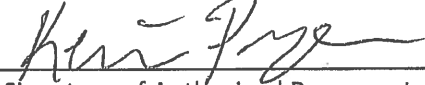
SUBSTANCE ABUSE PREVENTION PROGRAM CERTIFICATION

The Substance Abuse Prevention on Public Works PROJECT Act, 820 ILCS 265/1 et seq., (“Act”) prohibits any employee of the Contractor or any Subcontractor on a public works project to use, possess or be under the influence of a drug or alcohol, as those terms are defined in the Act, while performing work on the project. The Contractor/Subcontractor [circle one], by its undersigned representative, hereby certifies and represents to the Wheaton Park District that [Contractor/Subcontractor must complete either Part A or Part B below]:

A. The Contractor/Subcontractor [circle one] has in place for all of its employees not covered by a collective bargaining agreement that deals with the subject of the Act a written substance abuse prevention program, a true and correct copy of which is attached to this certification, which meets or exceeds the requirements of the Substance Abuse Prevention on Public Works Act, 820 ILCS 265/1 et seq. [Contractor/Subcontractor must attach a copy of its substance abuse prevention program to this Certification.]

Sebert Landscape
Name of Contractor/Subcontractor (print or type)

Kevin Pryor – Account Manager
Name and Title of Authorized Representative (print or type)

 Dated: 11-16-23
Signature of Authorized Representative

B. The Contractor/Subcontractor [circle one] has one or more collective bargaining agreements in effect for all of its employees that deal with the subject matter of the Substance Abuse Prevention on Public Works PROJECT Act, 820 ILCS 265/1 et seq.

Name of Contractor/Subcontractor (print or type)

Name and Title of Authorized Representative (print or type)

Signature of Authorized Representative

Dated: _____

TO: Board of Commissioners

FROM: Dan Novak, Director of Arrowhead Operations
 Brian Kimbrough, Director of Parks and Planning
 Steve Hincee, Superintendent of Planning

THROUGH: Michael Benard, Executive Director

RE: 2026 Arrowhead Driving Range Pre Fab Structure

DATE: March 18, 2026



SUMMARY:

FGM Architects has assisted staff in developing plans for the Arrowhead Driving Range Improvements. A portion of this project includes a pre-fabricated structure that will be manufactured off site, brought to Arrowhead and erected. This was done in part to minimize cost and to compress the construction schedule. In order to get our order placed and get the project on the schedule, this was bid ahead of the other work.

Bids were solicited on February 17, 2026 and the results were as follows:

Contractor	Base Bid – (2) gable roof	Alternate Bid 1 – flat roof	Alternate Bid 2 – (1) gable roof
Cover the Tees	\$693,036	Deduct \$22,000	Deduct \$11,000

Work on the driving range is scheduled begin in October 2026 and be completed early in 2027.

PREVIOUS COMMITTEE/BOARD ACTION:

A contract in the amount of \$23,500 for schematic design services was approved at the July 16, 2025 board meeting.

The concept was reviewed and discussed at the Capital Projects review meeting on January 17, 2026.

REVENUE OR FUNDING IMPLICATIONS:

Capital	60-000-000-57-5701-0000	\$2,000,000
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STAKEHOLDER PROCESS:

Arrowhead staff has been involved throughout the process.

LEGAL REVIEW:

Our legal counsel provided front-end specifications and agreements for bidding.

ATTACHMENTS:

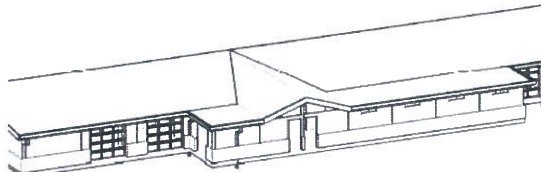
FGM Architects recommendation

ALTERNATIVES:

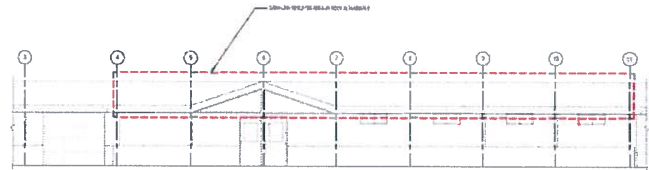
Two alternates were included to simplify the roof.

RECOMMENDATION:

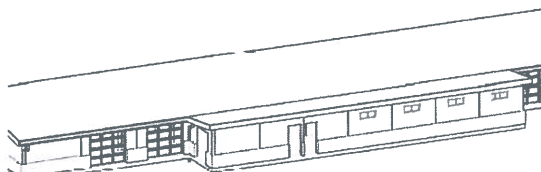
Staff recommends the Wheaton Park District Board of Commissioners approve the proposal in the amount of \$693,036 from Cover the Tees along with a contingency of 10% for \$69,303.60.



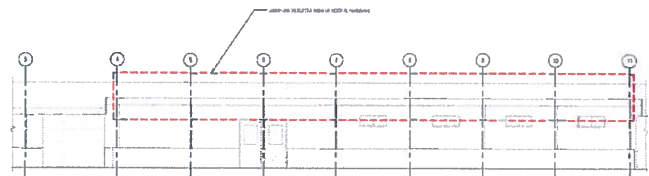
6 | ALTERNATE 2 ROOF NW VIEW (REFERENCE ONLY)



5 | ALTERNATE 2 ROOF FROM CL4 TO CL11
3/8" = 1'-0"



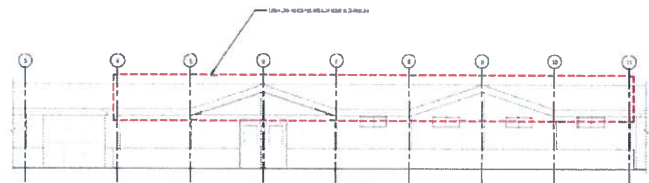
4 | ALTERNATE 1 ROOF NW VIEW (REFERENCE ONLY)



3 | ALTERNATE 1 ROOF FROM CL4 TO CL11
3/8" = 1'-0"



2 | BASE BID ROOF NW VIEW REFERENCE ONLY



1 | BASE BID ROOF FROM CL4 TO CL11
3/8" = 1'-0"



2 March 2026

Steve Hinchee / Superintendent of Planning
Wheaton Park District
1000 Manchester Road
Wheaton, IL 60187

Subject: 2026 Arrowhead Driving Range Pre-Fabricated Structure (Bid Package A)

Dear Mr. Hinchee,

The apparent low bidder is Performance Delivery, Inc. dba Cover the Tees with a bid of \$693,036.

The above sum does not include Alternates that have yet to be accepted or rejected.

Alternate 1 – Flat Roof	Deduct \$22,000
Alternate 2 – Flat Roof w One (1) Gable	Deduct \$11,000.

FGM Architects has reviewed the qualifications and references provided by Cover the Tees and find that Cover the Tees is a responsible bidder and therefore see no reason not to recommend contract award to Cover the Tees.

Please let us know your decision at your earliest convenience. Upon your direction, FGM Architects notify the contractor of this contract award.

If you have any questions or comments, please do not hesitate to call me.

Sincerely,

Daniel T. Nicholas | Principal
dannicholas@fgmarchitects.com

cc: File

Enclosure(s): Project Memorandum 01 Bid Analysis



PROJECT MEMO

Date: 2 March 2026

Recipient: Steve Hinchee / Superintendent of Planning

CC: Dan Novak / Director of Arrowhead Operations
Brian Kimbrough / Director of Parks and Planning

Project Name: Arrowhead Driving Range Improvements
Bid Package A – Award

Project Number: 26-4452.01

Subject – Bid Package A (Budget vs Bid Analysis)

FGMA has reviewed the Bids for Arrowhead Driving Range Improvements (Bid Package A – Pre-Fabricated Structure) and the Owner approved Schematic Design Documents and found the following comparisons.

Schematic Design Phase Documents included a Base Bid budget of \$2,525,872 which included \$638,739 for Cover the Tees.

Cover the Tees Schematic Design Budget **\$638,739**

Cover the Tees scope included

- | | |
|---------------------------------------|---------------|
| 1. 25 traditional bays @ 276 sf / bay | 6,900 sf |
| 2. 2 auxiliary bays @ 110 sf / bay | <u>220 sf</u> |
| | 7,120 sf |

$\$638,739 / 7,120 \text{ sf} = \mathbf{\$89.71 \text{ per sf}}$

Alternate adjustments. The Board directed the design team to proceed with the Alternate that included adding permanent restrooms, concessions and ball management facilities. This resulted in adding 4 auxiliary bays 4 bays @ 110 sf / bay = 440 sf. $440 \text{ sf} \times \$90/\text{sf} = 39,600$ increase. Note the approved add alternate totaled \$137,300.

Adjusted Schematic Design Budget **\$678,339**



During the early stages of Design Development it was determined to better support the functionality of the Concessions, Ball Management and associated circulation, additional space was needed in the auxiliary bay area. It was agreed that one additional bay at 110 sf should be added. This design revision was included in Bid Package A. This resulted in 110 sf of additional space $\$90/\text{sf} = \$9,000$.

Total adjusted Budget **\$688,239**

Summary. The bid of \$693,036 is within 0.7% of the budget of \$688,239.

TO: Board of Commissioners

FROM: Brian Kimbrough, Director of Parks and Planning
Steve Hinchee, Superintendent of Planning

THROUGH: Michael Benard, Executive Director

RE: Arrowhead Driving Range Improvements-
Amendment 1 to FGM Architects Contract

DATE: March 18, 2026



SUMMARY:

Staff has been working with FGM Architects through schematic design for the Arrowhead driving range improvements project. As the project moves into design development and construction drawing additional services of sub-consultants will be required that are outside of the original contract. These include:

- Civil Engineering \$29,500
- Golf Course Design \$31,425
- 3rd Party Estimating \$ 3,500
- **Total** \$64,425

PREVIOUS COMMITTEE/BOARD ACTION:

A contract in the amount of \$23,500 for schematic design services was approved at the July 16, 2025 board meeting.

The concept was reviewed and discussed at the Capital Projects review meeting on January 17, 2026.

REVENUE OR FUNDING IMPLICATIONS:

\$2,000,000 is budgeted for driving range improvements in 2026.

STAKEHOLDER PROCESS:

Arrowhead staff has been involved throughout the process.

LEGAL REVIEW:

Contract documents were developed with assistance of legal counsel

ATTACHMENTS:

Amendment 1 FGMA Architects

ALTERNATIVES:

N/A

RECOMMENDATION:

Staff recommends the Wheaton Park District Board of Commissioners approve amendment 1 in the amount not to exceed \$64,425 from FMGA Architects.



AIA® Document G802® – 2017

Amendment to the Professional Services Agreement

PROJECT: *(name and address)*
Wheaton Park District Arrowhead
Golf Club Driving Range
Improvements
26W151 Butterfield Road
Wheaton, Illinois 61089

AGREEMENT INFORMATION:
Date:
09/29/2025

AMENDMENT INFORMATION:
Amendment Number:
001

Date:
02/24/2026

OWNER: *(name and address)*
Wheaton Park District
102 East Wesley Street
Wheaton, IL 60187

ARCHITECT: *(name and address)*
FGM Architects Inc.
1 Westbrook Corporate Center, Suite
1000
Westchester, IL 60154

FGMA # 26-4452.01

The Owner and Architect amend the Agreement as follows:

Civil Engineering
Golf Course Design
3rd Party Estimating

The Architect's compensation and schedule shall be adjusted as follows:

Compensation Adjustment:
Basic Services Fee

Civil Engineering	\$29,500.00
Golf Course Design	\$31,425.00
3rd Party Estimating	\$3,500.00
Total Adjustment	\$64,425.00

Schedule Adjustment:
None

ARCHITECT *(Signature)*

BY: Daniel T. Nicholas, Principal
(Printed name, title, and license number if required)

11/05/2025
Date

OWNER *(Signature)*

BY: Michael Benard, Executive Director
(Printed name and title)

Date



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2100 MANCHESTER RD, BUILDING A, SUITE 203, WHEATON, IL 60187

PH: 630-668-7603 FAX: 630-682-1760 WEB: WWW.WMALTD.COM

Agreement for Services

Date: February 13, 2026

To: Dan Nicholas
FGM Architects
1 Westbrook Corporate Center
Suite 1000
Westchester, IL 60154
Phone: 630-574-8300

Email: dannicholas@fgmarchitects.com

Re: Proposal for Civil Engineering Services
Arrowhead Golf Course
26w151 Butterfield Rd.
Wheaton, IL

We offer the following proposal to provide Civil Engineering services for the proposed driving range improvements to the Arrowhead Golf Course, Wheaton. The fees assume that stormwater detention will not be required as the net new impervious area will be less than 25,000 s. ft. and the required post construction management practices will be within the existing ponds east of the site or within permeable pavers.

Proposed Civil Engineering Services:

This proposal includes full design and engineering services including preparation of project drawings and specifications. Proposal includes attendance at up to four (4) project coordination meetings to be held at FGM's office or remotely. It is understood that there will also be a review of two (2) cost estimates at the end of DD, and 50% CD's. Proposal also includes up to three (3) site visits, one at DD to familiarize with site, one during CA at FGM's request, one (1) at substantial completion.

Basic services shall include, but not be limited to the following items:

- Design
- Calculations
- Drawings (signed and sealed)
- Specifications
- Bid analysis (as necessary)
- Assistance in acquiring all necessary permits
- Answering contractor's questions
- Review of survey, utility, and geotechnical information provided by owner.
- Stormwater detention design (does not include new detention for the driving range project)
- Reviewing Shop Drawings
- Final Punch List Review

\$10,500 Design Development Phase

Services to include:

Engineer shall attend (virtually or in-person) the project kick-off meeting to discuss the project scope of work.

- Engineer shall confer with representatives from the governing agencies to review development and permitting requirements.
- Engineer shall visit the site to observe the existing conditions to confirm that the site survey has provided the information necessary for us to complete our design work.
- Engineer shall assist in identifying the need for additional studies, surveys, or reports. Such studies might address geotechnical analysis.
- Engineer shall review and edit the topographic mapping so that other sub-consultants may utilize it.
- Engineer shall review and compute impervious areas within Arrowhead golf course to determine the net new impervious area.
- Engineer shall prepare design development drawings and outline specifications from approved schematic design documents which will consist of the following:
 - Existing Conditions Plan
 - Site Demolition Plan depicting site-related items to be removed or abandoned for the proposed development.
 - Site Geometry Plan showing property lines, dimensions, and general geometry of improvements, sidewalk, driveway, etc.
 - Site Grading & Paving Plan showing elevations for finished floor, sidewalk, driveways, green spaces as well as pavement section details.
 - Site Erosion Control Plan indicating temporary and permanent measures as required by the village.
 - Site Utility Plan including sewer and water services. EEA will coordinate these services with information provided by the Design Team regarding mechanical, electrical, and plumbing installations.
 - Details and General Notes as required.

\$15,000 Construction Document Phase

- Engineer shall attend (virtual or in-person) project coordination meetings as necessary to coordinate the Project.
- Engineer shall prepare final drawings and CSI Lump Sum Format specifications for this part of the project. The drawings and specifications shall be prepared in accordance with generally accepted professional practices and substantially in conformance with standards of the governing agencies.
- Engineer shall assist in the preparation and processing of permits as required by but not limited to the following governing agencies:
 - DuPage County
 - IEPA-Notice of Intent
 - Illinois Historic Preservation Agency
 - Illinois Department of Natural Resources-Threatened and Endangered Species

\$1,200 Procurement (Bidding or Negotiation Phase)

- Assist Architect with items including, but not limited to answering contractor's questions, preparing addenda, etc.

\$2,000 Construction Phase

- Engineer shall assist in obtaining all necessary permits from all governing agencies with jurisdictional authority that may include but not limited to Illinois and DuPage County.
- Engineer shall answer all contractors' questions.
- Engineer shall review all shop drawings.
- Engineer shall provide construction site visits when applicable.
- Engineer shall punch list their work.
- Engineer shall provide final punch list review of their work.
- Engineer shall prepare supplemental documents to clarify the original documents as required.
- Engineer shall review Change Orders related to the engineer's scope of work as requested by architect.

\$800 Project Close-Out Phase

- Engineer shall review closeout documents for the project.
- Engineer shall provide record as designed documents for the project

\$29,500 Total Civil Engineering Services

The civil fees are based on receipt of a CAD based site plan. Additional engineering work or site visit, if requested, will be billed on an hourly rate basis at \$200 per hour. It is understood that reimbursable expenses are not allowed for the project. Proposal includes all travel and expenses necessary to complete the project scope of work, including, but not limited to, meetings, site visits, and mailings.

WEBSTER, McGRATH & AHLBERG, LTD.

Signed: Benedict Bussman Date: February 13, 2026
Benedict Bussman, Vice President



**MARTIN
DESIGN
GOLF**

February 3, 2026

Mr. Dan Nicholas, Senior Associate
FGM Architects
1 Westbrook Corporate Center
Suite 1000
Westchester, Illinois 60154

RE: Arrowhead Golf Course Practice Area Enhancements

PROJECT UNDERSTANDING

It is the intention of the Wheaton Park District to Improve the Practice Area Amenities including covered practice range tees, concessions, restrooms, hardscape, paths as well as golf course practice chipping area and a practice bunker.

Martin Design Golf is presenting this proposal referring specifically to the 'green grass' golf course practice chipping areas [as referenced at the end of this proposal] including:

- Practice Chipping Green and surrounding chipping areas
- Practice Bunker for use on the Practice range
- All golf development including green and bunker construction, drainage, irrigation, golf course feature details and specifications, Bid Documents and Bid Forms, as well as Construction Observation.
- Martin Design will work to meet the grades and details as defined by FGM Architects and their sub-contractors.

BETWEEN

This agreement is between
Martin Design Golf &
FGM Architects [Client]

NOT INCLUDED:

This proposal and the work identified is specific to the area defined. These professional services do not include any structures, paths, access, circulation, shelters, all weather tees, lighting, electrical or infrastructure, or necessary permitting.



TENTATIVE SCHEDULE

Design Development	Feb-March 2026
Construction Documentation	April-May 2026
Bidding	June-July 2026
Construction	September 1, 2026 – October 15, 2026*

SCOPE OF SERVICES

1. Meetings & Correspondence
2. Prepare Design Development Plans for the project and corresponding cost estimates.
3. Prepare Construction Drawings, Specifications, Bid Documentation, Bid Forms for construction as outlined above.
4. Bidding Services including Delivery of Bid Materials, Pre-Bid Meeting, Review of Bids, Recommendations, Value Engineering [as needed] for Phase 1 of construction as outlined above.
5. Construction Observation Services as outlined below.

PROFESSIONAL SERVICES

1. Meetings, Correspondence

Mdp will meet as needed during Phase II Services with the Client. This will include meetings to review the refined plans, provide status reports, meet with subcommittees, engineers, irrigation designers and contractors. In addition, as outlined below, we will meet during the bid process and during construction. There will be a limit to Two [2] Public Meetings.

2. Design Development - Preparation of Design Development Plans

We will prepare the plan set for purposes of preparing permit submissions and necessary approvals. If plans need revision and resubmittal, we will make necessary adjustments and resubmit for approvals.

Items included

- Layout Plans
- Removal and Clearing Plans
- Earthwork, Cut/Fill & Grading Plans
- Erosion Control Plans
- Drainage Plans
- Shaping and Feature [Greens, Bunkers] Plans
- Grassing Plans [Seeding, Sodding]

Mdp will revise the plans based upon permit reviews and responses. Mdp will complete and finalize the DD plans to 100% based upon those comments and design team refinements.

3. Construction Documentation

For purposes of issuing bid documents and construction documentation
Golf Course Improvement Drawings

- Staking, Layout and Horizontal Plans - This plan shows locations of the feature areas that are to be staked in the field and include detailed staking for bunkers and other included design elements.
- Clearing and Vegetation Removal Plans - This plan shows the different areas of the property that need to be cleared, thinned and/or grubbed for the golf course. The specimen trees that are to remain will be indicated and clearly marked to be saved.
- Grading Plans - These plans will indicate the existing and proposed grades for the project using contour lines and spot elevations. All aspects of the golf course improvements will show grades at 1' contours minimum, and greens or tees will show contours to .5' at minimum.
- Golf Course Drainage Plans - These plans will show the drainage system as needed for the golf course. These plans will be coordinated with the Soil Erosion and existing Storm Drainage Plans.
- Green /Green Surrounds Plans - These plans show the details, size, shape and contour of the greens, bunkers and surrounds including spot elevations, grades, and gradients for all new green surfaces.
- Irrigation Plans – including head layout, piping and communication systems, details and
- Grassing Plans: These plans will show the general locations of all the grass species and varieties to be planted on the golf course.
- Golf Course Construction Details
- Plan Quantities, cut/fill and Scope Limit plans

Technical Specifications

Based upon the above plans, Mdp will prepare technical specifications for the work to be performed. This document is used as the basis for any contract or sub-contract work that needs to be completed.

Bid Forms & Bid Documents

Mdp will assist FGM Architects and the Wheaton Park District with the preparation of a full Bid Document set, including: All necessary Construction Plans; All required Bid Forms and qualifications relating to golf course construction; and Bid Forms/ Line-item Bid Sheets; Contractor's Certification &/or Contractor Qualification Statements; Technical Specifications for golf course construction. Details and specifications outlining the quality levels for materials and workmanship, and responsibilities of the Client, Contractor and Golf Course Architect during construction of the Project.



4. Bid Services

Mdp will assist the Client to solicit bids from qualified contractors, sub-contractors, shapers and craftsmen to complete the construction work for the project. This will include specialists that understand the expertise, nuance, and detail behind building a golf course.

Bids should be limited to members of the Golf Course Builders Association of America [GCBAA]. Upon receipt, Bids will be compiled in a spreadsheet for review with the Client. Using those bids, Mdp will provide necessary Value Engineering [adjustments to the plans and specifications] to achieve budget goals without impacting the quality of the final project.

Bid Services include, but are not limited to:

- Attendance at a Pre-Bid Meeting
- Preparation of Addenda and clarifications to questions from Bidders
- Compilation of bids and proposals for contractors and subcontractors
- After review of the Bids, a Recommendation of the Lowest Qualified Bid.
- Review and correspondence with the Contractor for changes to the plans and specifications to meet a specified Construction Budget [if necessary].

5. Construction Services

Mdp will make visits to the site during construction according to the pace of progress to ensure the project vision is consistent with construction plans. Mdp will make field adjustments, if necessary, to ensure the design is executed accordingly.

- Multiple - once weekly at minimum and up to twice per week - to observe construction and to confer with Client and Contractor. Approximately 1-2 Site Visits per week [As many as 15 visits].
- Follow up reports – notes and sketches documenting progress – as needed.
- Mdp may provide the Client with a written report after each visit.
- Review and approval of all contractor invoices and substitutions
- The Golf Course Architect shall consult and assist the Client through the duration of the Construction Phase of the Project in connection with Client's Responsibility to provide Contract administration.
- The Golf Course Architect shall have the authority to act on behalf of the Client only to the extent provided in this agreement unless otherwise mutually agreed by the Client and the Golf Course Architect.



- The Golf Course Architect's responsibilities during the construction phase shall consist of making design and construction evaluations based on periodic site visits and providing periodic assistance to the Client in connection with Client's Contract Administration for the Project.
- The Golf Course Architect's duties, responsibilities, and limitations of authority under this Agreement shall not be restricted, modified, or extended without written agreement of the Client and the Golf Course Architect.
- If any part of the Contract Documents differs from this Agreement concerning the Golf Course Architect's duties, responsibilities, and limitations of authority, they shall be enforceable only to the extent that they are consistent with this Agreement or are approved in writing by the Golf Course Architect.
- Any Construction Observation phase services will only be provided to determine the general progress of the work, and will not include any supervision of the contractors, or the means, methods, techniques, schedules, sequences, or procedures, or for construction safety or any other related programs.
- The Golf Course Architect shall visit the site at intervals appropriate to Construction, or as otherwise agreed by the Client and Golf Course Architect to become generally familiar with the progress and quality of Work completed. The Golf Course Architect shall not be required to make exhaustive or continuous on-site inspections to check the quality or quantity of the Work.
- A site visit is defined as one (1) to a maximum of eight (8) hours on the actual project site or in related meetings on a single calendar day for the purpose of providing Construction Evaluation services or assisting the Client in Contract Administration.
- The Golf Course Architect shall have access to the Project whenever it is in progress.
- The Golf Course Architect shall have the authority to make changes to the Work for the purpose of enhancing and adapting the design for site conditions, such as vegetation, terrain and subsurface geology. All changes are subject to the approval of the Client, which shall not be unreasonably withheld. If deemed necessary or appropriate by the Golf Course Architect, he shall prepare supplemental drawings or field sketches as information for the Contractor.
- On the basis of on-site observations, the Golf Course Architect shall endeavor to determine if the Work is being performed in a manner indicating that the Work, when fully completed will be in accordance with the Contract Documents.



- The Golf Course Architect shall endeavor to keep the Client informed of observations concerning the progress and quality of Work. The Golf Course Architect shall report to the Client any observed deviations from the Contract Documents, and significant deviations from the construction schedule.
- By providing these periodic construction evaluations, the Golf Course Architect shall not be deemed responsible for the Contractor's failure to carry out the Work in accordance with the Contract Documents.
- The Golf Course Architect shall neither have any control over or charge of, nor be responsible for construction means, methods, techniques, sequences, or procedures, or for safety precautions and programs in connections with the Work, since these are solely the Contractor's rights and responsibilities.
- The Golf Course Architect shall not be responsible for the acts or omissions of the Contractor, or any subcontractors, or any of the Contractor's or Subcontractor's agents or employees, or any other persons performing any of the Work on the Project.

Certificates

- The Golf Course Architect shall not be required to review any Certificates of Payment.
- The Golf Course Architect shall not be required to execute certificates of any kind that would require knowledge, services, or responsibilities beyond the scope of this Agreement, and shall have right of approval of any language contained in such certificates.

Issuing Instructions to Contractors

The Golf Course Architect shall consult and assist the Client in issuing advice and instructions to the Contractor. At the conclusion of any site reviews or weekly on-site meetings, Mdp may prepare a Site Review Memo outlining the specifics of the meeting and any design adjustments or observations.

Interpreting Contract Requirements

The Golf Course Architect shall review timely requests by the Contractor for additional information about the Contract Documents.

The Golf Course Architect shall endeavor to interpret the requirements of the Contract Documents to assist the Client in evaluating the performance of the Contractor. The Golf Course Architect shall make recommendations, when requested, on claims of the Client or Contractor relating to the Project.

Interpretations and recommendations of the Golf Course Architect shall be consistent with the intent of, and reasonably inferable from the Contract



Documents by persons knowledgeable about golf course construction. When making such interpretations and recommendations, the Golf Course Architect shall not show partiality to either Client or Contractor.

Whenever he deems it necessary or advisable, the Golf Course Architect retains the right, but not the duty to advise the Client of the need to (1) reject Work that does not conform to the Contract Documents, or (2) request inspection or testing of Work in accordance with appropriate provisions of the Contract Documents, whether such Work is fabricated, installed or completed.

No recommendation or interpretations made in good faith by the Golf Course Architect, including any recommendation to reject or not reject, or request any inspection or testing of portions of the Work shall give rise to a duty or responsibility of the Golf Course Architect for the consequences to the Client, Contractor, Subcontractors, material and equipment suppliers, their agents or employees or other persons or entities performing portions of the Work.

Submittals

The Golf Course Architect shall review and make recommendations to the Client regarding Contractor's submittals such as Shop Drawings, Product Data and Samples, only for the limited purpose of checking for conformance with information and design concepts expressed in the Contract Documents. Such review shall not be for the purpose of determining the accuracy and completeness of details such as dimensions and quantities, or for substantiating installation instructions or performance standards, all of which remains the responsibility of the Contractor.

The Golf Course Architect's review shall not constitute approval of safety precautions or of any construction means, methods, techniques, sequences or procedures. The Golf Course Architect's approval of a specific item shall not indicate approval of an assembly of which the item is a component.

Shop Drawings and other submittals related to Work designed or certified by the Contractor's design professionals shall bear such professional's written approval when submitted to the Golf Course Architect. The Golf Course Architect shall be entitled to rely upon the adequacy, accuracy and completeness of the services, certifications or approvals performed by such design professionals.



Change Orders

The Golf Course Architect shall have authority to order minor changes in the Work, which are consistent with the intent of the Contract Documents, and not involving an adjustment in the Contract Sum or an extension of the Contract Time.

The Golf Course Architect shall assist the Client in reviewing and making recommendations on properly prepared, timely requests by the Contractor for Change Orders. A properly prepared request for a Change Order shall be accompanied by sufficient supporting information to permit the Golf Course Architect to make a reasonable determination without extensive investigation or preparation of additional drawings or specifications.

Project Completion

The Golf Course Architect shall assist the Client to determine the date(s) of Substantial Completion.

Substantial Completion & Project Completion

The Golf Course Architect shall participate in a Substantial Completion inspection with the Client to assist him in checking conformance of the Work with the requirements of the Contract Documents. GCA shall assist in preparing a "Punch List" of items to be completed or corrected.

The Golf Course Architect shall participate in a Final Completion inspection with the Client's Contract Administrator or Designated Representative to assist in reviewing the "Punch List" to verify that necessary items have been completed or corrected.



PROFESSIONAL FEES

Total Fee for work associated with items outlined above shall be a NOT TO EXCEED FEE of:

1. Meetings, coordination & correspondence	\$2,500
2. Design Development	\$17,225
3. Construction Documentation	\$3,800
4. Bid Services	\$3,200
5. Construction Services	<u>\$4,700</u>
TOTAL	\$31,425

Thirty One Thousand Four Hundred Twenty Five Dollars

- This does not include Irrigation Construction Observation Services

Out of Pocket Expenses

Out-of-pocket expenses, including, travel, printing, reproduction or delivery or any other direct costs to the project are included in the above Fee.

APPROVAL

We are excited about this project – this project should be carefully considered and developed with the best long-term interests of Arrowhead Golf Course and the Wheaton Park District.

Thank you for the opportunity to participate. I look forward to a successful project.

Please sign below to indicate your acceptance.


Gregory E Martin
Martin Design Golf

2/3/26

date

Dan Nicholas
FGM Architects

date



PROPOSED CONCEPT PLAN FOR 'GREEN GRASS' CHIPPING GREEN



TERMS & CONDITIONS

Exclusions

Only services specifically described in this proposal are included in our scope of work. Services may be added as a contract amendment at a future date for an agreed additional fee.

Responsiveness:

The Golf Course Architect will perform duties in an efficient and timely manner. Likewise, the Client will respond to requests by MDP in an efficient and timely manner. Client will respond to questions in a timely manner. Likewise, Mdp will prepare documents and respond to questions or requests in a timely manner.

Revisions and Additional Services:

Revisions to the plans and final construction documents, preparation of additional exhibits, attendance at public review meetings or the performance of any other service not specifically mentioned above will be considered additional work and will be invoiced as an extra cost on a time and materials basis or in accordance with a separate fee quote. Such work will not be performed without authorization.

Current hourly rates for Martin Design Golf - applied to the fee above and additional work is as follows:

Martin	\$295/hr.
Design Associate /Production	\$160/hr.
Administrative	\$95/hr.

Entire Agreement:

This Agreement represents the entire agreement between the Client and Martin Design Partnership and may be amended only by written instrument signed by both parties.

Compliance With Laws:

Martin Design Partnership, Ltd. (Golf Course Architect) will strive to exercise usual and customary professional care in his efforts to comply with those laws, codes, ordinance and regulations which are in effect as of the date of this Agreement. With specific respect to prescribed requirements of the Americans with Disabilities Act of 1990 or certified state or local accessibility regulations (ADA), Client understands ADA is a civil rights legislation and that interpretation of ADA is a legal issue and not a design issue and, accordingly, retention of legal counsel (by Client) for purposes of interpretation is advisable. As such and with respect to ADA, Client agrees to waive any action against the Golf Course Architect, and to indemnify and defend against any claim arising from Golf Course Architect's alleged failure to meet ADA requirements prescribed.

Designation of Authorized Representative:

EACH party (to this Agreement) shall designate one or more persons to act with authority in its behalf in respect to appropriate aspects of the Project. The persons designated shall review and respond promptly to all communications received from the other party.



Standard of Practice:

The Golf Course Architect makes no representation or warranty, either expressed or implied, as to the findings, recommendations, specifications, or professional advice provided hereunder expect that they will be promulgated and prepared in accordance with the standards of the Golf Course/ Landscape Architecture professions. The Golf Course Architect will strive to conduct services under this Agreement in a manner consistent with that level of care and skill ordinarily exercised by members of the profession currently practicing in the same locality under similar conditions as of the date of this Agreement. No other representation, express or implied, and no warranty or guarantee is included or intended in this Agreement, or in any report, opinion, document, or otherwise.

Governing Law:

This Agreement shall be governed by and construed in accordance with Articles previously set forth by Item 1. of this Agreement, together with the laws of the State of Illinois.

Responsibility of the Golf Course Architect:

Notwithstanding anything to the contrary which may be contained in this Agreement or any other material incorporated herein by reference, or in any Agreement between the Client and any other party concerning the Project, the Golf Course Architect shall not have control or be in charge of and shall not be responsible for the means, methods, techniques, sequences or procedures of construction, or the safety, safety precautions or programs of the Client, the construction contractor, other contractors or subcontractors performing any of the work or providing any of the services on the Project. Nor shall the Golf Course Architect be responsible for the acts or omissions of the Client, or for the failure of the Client, any architect, engineer, consultant, contractor or subcontractor to carry out their respective responsibilities in accordance with the Project documents, this Agreement or any other agreement concerning the Project. Any provision which purports to amend this provision shall be without effect unless it contains a reference that the content of this condition is expressly amended for the purposes described in such amendment and is signed by the Golf Course Architect.

Client's Responsibilities:

The Client agrees to defend the Golf Course Architect, its consultants, and the employees and agents of any of them from and against any and all claims, suits, demands, liabilities, losses, damages, and costs ("Losses"), including but not limited to costs of defense, to the extent arising in whole or in part out of the negligence of the Contractor, its subcontractors, the officers, employees, agents, and subcontractors of any of them, or anyone for whose acts any of them may be liable, regardless of whether or not such Losses are caused in part by a party indemnified hereunder.

Information Provided by Others:

The Golf Course Architect and Engineer shall indicate to the Client the information needed for rendering of the services of this Agreement. The Client shall provide to the Golf Course Architect such information as is available to the Client and the Client's consultants and contractors, and the Golf Course Architect shall be entitled to rely upon the accuracy and completeness thereof. The Client recognizes that it is impossible for the Golf Course Architect to assure the accuracy, completeness and sufficiency of such information, either because it is impossible to verify or because of errors or omissions which may have occurred in assembling the information the Client is providing.



Accordingly, the Client agrees, to the fullest extent permitted by law, to indemnify and hold the Golf Course Architect and their subconsultants harmless from any claim, liability or cost (including reasonable attorneys' fees and cost of defense) for injury or loss arising or allegedly arising from errors, omissions or inaccuracies in documents or other information provided by the Client to the Golf Course Architect.

Changes:

Client reserves the right by written change order or amendment to make changes in requirements, amount of work, or engineering time schedule adjustments, and Golf Course Architect, and Client shall negotiate appropriate adjustments acceptable to both parties to accommodate any changes, if commercially possible.

Documents Delivered to Client:

Drawings, specifications, and reports prepared by Engineer in connection with any or all of the services furnished hereunder shall be delivered to the Client for the use of the Client. The Golf Course Architect shall have the right to retain originals of all Project Documents and drawings for its files. Furthermore, it is understood and agreed that the Project Documents such as, but not limited to reports, calculations, drawings, and specifications prepared for the Project, whether in hard copy or machine-readable form, are instruments of professional service intended for one-time use in the construction of this Project. These Project Documents are and shall remain the property of the Golf Course Architect.

Reuse of Documents:

All Project Documents including but not limited to reports, original boring logs, field data, field notes, laboratory test data, calculations, opinions of probable costs, drawings and specifications furnished by the Golf Course Architect pursuant to this Agreement are intended for use on the Project only. They cannot be used by Client or others on extensions of the Project or any other project. Any reuse, without specific written verification or adaptation by Golf Course Architect, shall be at Client's sole risk, and Client shall indemnify and hold harmless Golf Course Architect from all claims, damages, losses, and expenses including attorney's fees arising out of or resulting therefrom.

Force Majeure:

Neither Client nor Golf Course Architect shall be liable for any fault or delay caused by any contingency beyond their control including but not limited to acts of God, wars, strikes, walkouts, fires, natural calamities, or demands or requirements of governmental agencies.

Relationship Between Golf Course Architect and Client:

Golf Course Architect shall serve as Client's professional consultant in those phases of the Project to which this Agreement applies. This relationship is that of a buyer and seller of professional services and as such the Golf Course Architect is an independent contractor in the performance of this Agreement and it is understood that the parties have not entered into any joint venture or partnership with the other. The Golf Course Architect shall not be considered to be the agent of the Client.



Suspension of Services:

Client may, at any time, by written order to the Golf Course Architect (Suspension of Services Order) require the Golf Course Architect to stop all, or any part, of the services required by this Agreement. Upon receipt of such an order, Golf Course Architect shall immediately comply with its terms and take all reasonable steps to minimize the costs associated with the services affected by such order. Client, however, shall pay all costs incurred by the suspension, including all costs necessary to maintain continuity and for the resumption of the services upon expiration of the Suspension of Services Order. The Golf Course Architect will not be obligated to provide the same personnel employed prior to suspension, when the services are resumed, in the event that the period of suspension is greater than thirty (30) days.

Termination:

This Agreement may be terminated by either party upon thirty (30) days written notice in the event of substantial failure by the other party to perform in accordance with the terms hereof through no fault of the terminating party. This Agreement may be terminated by Client, under the same terms, whenever Client shall determine that termination is in its best interests. Cost of termination, including salaries, overhead and fee, incurred by Golf Course Architect either before or after the termination date shall be reimbursed by Client.

Successors and Assigns:

The terms of this Agreement shall be binding upon and inure to the benefit of the parties and their respective successors and assigns: provided, however, that neither party shall assign this Agreement in whole or in part without the prior written approval of the other.

Entire Understanding of Agreement:

This Agreement represents and incorporates the entire understanding of the parties hereto, and each party acknowledges that there are no warranties, representations, covenants or understandings of any kind, matter or description whatsoever, made by either party to the other except as expressly set forth herein.

Client and the Golf Course Architect hereby agree that any purchase orders, invoices, confirmations, acknowledgments or other similar executed or delivered with respect to the subject matter hereof that conflict with the terms of the Agreement shall be null, void and without effect to the extent they conflict with the terms of this Agreement.

Amendment:

This Agreement shall not be subject to amendment unless another instrument is duly executed by duly authorized representatives of each of the parties and entitled "Amendment of Agreement".

Indemnification:

Golf Course Architect agree, to the fullest extent permitted by law, to indemnify and hold harmless Client up to the amount of this contract fee (for services) from loss or expense, including reasonable attorney's fees to the extent caused by Golf Course Architect's negligent acts, errors or omissions in the performance of professional services under this Agreement.



Client agrees, to the fullest extent permitted by law, to indemnify and hold harmless Golf Course Architect from any damage, liability or cost, including reasonable attorneys' fees and costs of defense, to the extent caused by the Client's negligent acts, errors or omissions and those of his or her contractors, subcontractors or consultants or anyone for whom the Client is legally liable, and arising from the project that is the subject of this Agreement. In the event of joint or concurrent negligence of Golf Course Architect, and Client, each shall bear that portion of the loss or expense that its share of the joint or concurrent negligence bears to the total negligence (including that of third parties) which caused the personal injury or property damage. The Golf Course Architect shall not be liable for special, incidental or consequential damages, including, but not limited to loss of profits, revenue, use of capital, claims of customers, cost of purchased or replacement power, or for any other loss of any nature, whether based on contract, tort, negligence, strict liability or otherwise, by reasons of the services rendered under this Agreement.

Limit of Liability:

The Client and the Golf Course Architect have discussed the risks, rewards, and benefits of the project and the Golf Course Architect total fee for services. In recognition of the relative risks and benefits of the Project to both the Client and the Golf Course Architect, the risks have been allocated such that the Client agrees that to the fullest extent permitted by law, the Golf Course Architect total aggregate liability to the Client for any and all injuries, claims, costs, losses, expenses, damages of any nature whatsoever or claim expenses arising out of this Agreement from any cause or causes, including attorney's fees and costs, and expert witness fees and costs, shall not exceed the total Golf Course Architect fee for professional engineering services rendered on this project as made part of this Agreement. Such causes included but not limited to the Golf Course Architect negligence, errors, omissions, strict liability or breach of contract. It is intended that this limitation apply to any and all liability or cause of action however alleged or arising, unless otherwise prohibited by law.

Notices:

Any notice or designation required to be given to either party hereto shall be in writing, and unless receipt of such notice is expressly required by the terms hereof shall be deemed to be effectively served when deposited in the mail with sufficient first class postage affixed, and addressed to the party to whom such notice is directed at such party's place of business or such other address as either party shall hereafter furnish to the other party by written notice as herein provided.

Access and Permits:

Client shall arrange for Golf Course Architect to enter upon public and private property and obtain all necessary approvals and permits required from all governmental authorities having jurisdiction over the Project. Client shall pay costs (including Golf Course Architect employee salaries, overhead and fee) incident to any effort by Golf Course Architect toward assisting Client in such access, permits or approvals, if the Golf Course Architect perform such services.

Waiver of Contract Breach:

The waiver of one party of any breach of the Agreement or the failure of one party to enforce at any time, or for any period of time, any of the provisions hereof, shall be limited to the particular instance, shall not operate or be deemed to waive any future breaches of this Agreement and shall not be construed to be a waiver of any provision, except for the particular instance.



Opinions of Probable Construction Cost [OPCC]:

Since the Golf Course Architect has no control over the cost of labor, materials or equipment, or over the Contractor(s) method of determining process, or over competitive bidding or market conditions, his opinions of probable Project Construction Cost provided for herein are to be made on the basis of his experience and qualifications and represent his best judgement as a design professional familiar with the construction industry, but the Golf Course Architect cannot and does not guarantee that proposal, bids or the Construction Cost will not vary from opinions of probable construction cost prepared by him.

Severability of Invalid Provisions:

If any provision of the Agreement shall be held to contravene or to be invalid under the laws of any particular state, county or jurisdiction where used, such contravention shall not invalidate the entire Agreement, but it shall be construed as if not containing the particular provisions held to be invalid in the particular state, country or jurisdiction and the rights or obligations of the parties hereto shall be construed and enforced accordingly.

Hazardous Materials:

It is acknowledged by both parties that the Golf Course Architect's scope of services does not include any services related to asbestos or hazardous or toxic materials. In the event Golf Course Architect or any other party encounters asbestos or hazardous or toxic materials at the job site, or should it become known in any way that such materials may be present at the job site or any adjacent areas that may affect the performance of Golf Course Architect services, Golf Course Architect may at his option and without liability for consequential or any other damages, suspend performance of services on the project until Client retains appropriate specialist consultant(s) or contractor(s) to identify, abate and/or remove the asbestos or hazardous or toxic materials, and warrant that the job site is in full compliance with applicable laws and regulations.

Right of Entry:

Client hereby grants the Golf Course Architect and its subcontractors or agents the right to enter from time-to-time property owned by Client and/or other(s) in order for Golf Course Architect to fulfill the scope of services included hereunder. Client understands that use of exploration equipment may cause some damage, the correction of which is not part of this Agreement. Client also understands that the discovery of certain hazardous conditions and/or taking preventive measures relative to these conditions may result in a reduction of the Property's value. Accordingly, Client waives any claim against the Golf Course Architect and its subcontractors or agents, and agrees to defend, indemnify and hold Golf Course Architect harmless from any claim or liability for injury or loss allegedly arising from procedures associated with subsurface exploration activities or discovery of hazardous materials or suspected hazardous materials. In addition, Client agrees to compensate Golf Course Architect for any time spent or expenses incurred by the Golf Course Architect in defense of any such claim with compensation to be based upon Golf Course Architect prevailing fee schedule and expense reimbursement policy. The Golf Course Architect shall not be liable for damage or injury from damage to subterranean structures (pipes, tanks, cables, or other utilities, etc.) which are not called to Golf Course Architect attention in writing and correctly shown on the diagram(s) furnished by Client to the Golf Course Architect.





Constructing Value, Building Trust

February 5th, 2026

Mr. Daniel T. Nicholas
FGM Architects, Inc.
1 Westbrook Corporate Center # 1000
Westchester, IL 60154

**RE: Arrowhead – Driving Range Improvements
26W151 Butterfield Road
Wheaton, IL 60189
DD / CD Preconstruction Services**

Dear Mr. Nicholas,

E.P. Doyle & Son, LLC is pleased to present our preconstruction services proposal in the amount of **\$7,000 (Seven Thousand Dollars)** for the above-referenced project. Our proposal includes the following:

1. Provide DD Budget preconstruction services - \$3,500. (Assume DD services to begin on / around 04/01/26.
2. Provide CD Budget preconstruction services - \$3,500. (Assume CD services to begin on / around 08/01/26.
3. We assume typical budget turnaround of 2-3 weeks, assuming typical drawing review meetings with architectural teams during budgeting and attendance of 1-2 meetings to review and present budget to ownership.

We look forward to reviewing our proposal with you soon and should you have any questions, please feel free to contact me directly.

Sincerely,

E.P. DOYLE & SON, LLC.

A handwritten signature in black ink that reads "Thomas J. Grotts".

Thomas J. Grotts
Vice President

cc:

Zachary Kile – FGM Architects, Inc.
Tim Doyle - E.P. Doyle & Son, LLC

TO: Board of Commissioners

FROM: Brian Kimbrough, Director of Parks and Planning
 Ian Pickett, Assistant Director of Parks and Planning
 Steve Hinchee, Superintendent of Planning

THROUGH: Michael Benard, Executive Director

RE: Native Area Maintenance Contract Renewal

DATE: March 18, 2026



SUMMARY:

In 2025, we solicited bids for contracted native area maintenance. Bedrock Enterprises was awarded the bid and completed year one. The contract is up for renewal in 2026. We would also like to add the native area at Briar Patch Park to the existing contract through a change order.

The work is being performed in the following parks:

- Northside Park: Pond shoreline and detention area
- Cosley Zoo: Marsh area on south side of property and rain gardens in parking lot
- Central Athletic Complex detention area - west side of Main St.
- Rotary Park - hill west of Mariano’s parking lot
- Elliot Lake shoreline
- Wheaton Oaks Property – Gary Ave., South of Winfield Creek and Elliot Lake
- Thompson detention area – east side of Gary Avenue, across from Prairie Avenue
- Lincoln Marsh
- Toohey Park
- Arrowhead Golf Course detention area
- Rathje Park shoreline
- Hoffman Park – selective herbicide treatments
- Seven Gables Park – selective herbicide treatments
- Briar Patch Park – **Change Order 1 (proposed)**

PREVIOUS COMMITTEE/BOARD ACTION:

Approved at March 19, 2025 Board meeting for 3-year contract for \$110,550.00.

REVENUE OR FUNDING IMPLICATIONS:

FY2026	40-000-000-52-5210-0000	\$59,700	Maintenance, burns and overseeding
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2026 Contract Renewal: \$36,850

2026 Change Order 1 for Briar Patch Park addition: \$1,100.00

2026 Total for existing contract: \$37,950.00

2027 Contract Renewal: \$38,040.00

2027 Change Order 1 for Briar Patch Park addition: \$1,130.00.

2027 Total for existing contract: \$39,170.00.

STAKEHOLDER PROCESS:

N/A

LEGAL REVIEW:

Contract Documents will be reviewed by our legal counsel.

ATTACHMENTS:

2026 2027 Bedrock Briar Patch Park Proposal.

ALTERNATIVES:

N/A

RECOMMENDATION:

It is recommended that the Wheaton Park District Board of Commissioners renew the contract with Bedrock Enterprises, and accepts the proposed change order to add Briar Patch Park, for a 2026 total of \$37,950.00.

February 26, 2026

SERVICE PROVIDER AGREEMENT

Mr. Ian Pickett, Assistant Director of Parks & Planning
Wheaton Park District
1000 Manchester Road
Wheaton, IL 60187

Re: 2026 & 2027 Briar Patch Park detention basin maintenance

Ian,

Thanks for inviting Bedrock Earthscapes to submit a proposal to maintain the small detention basin at Briar Patch Park, shown in the photo below.



DESCRIPTION OF SERVICES TO BE PROVIDED:

Maintenance:

Bedrock Earthscapes, LLC will work to control non-desirable plant growth throughout basin. Ongoing maintenance of native areas is needed to control non-desirable plant materials and top encourage health native plant growth.

- A burn of the area will be carried out in the early Spring of 2026.
- Brush cutting will be done after the burn to cut down non-desirable invasive woody plant growth and any remaining previous year's tall herbaceous growth. Woody plants will be cut as close to the ground as possible. Cutting of herbaceous growth will be done to a height of approximately 12" to protect the raised crowns of desirable native plants.
- Additional maintenance visits will be made during May, June, July and September. The purpose of these visits will be a) to control invasive woody and herbaceous plants through cutting and use of appropriate herbicides, and b) to ensure progress toward continually improving the native area's health and beauty.
- All herbicide treatments will be made by licensed pesticide applicators using non-restricted herbicides in accordance with prescribed material labeling.
- Site service notes will be sent via e-mail by Bedrock Earthscapes, LLC after each maintenance visit.

2026 cost for services as described: \$1,100.

2027 cost for services as described: \$1,130.

Enriching life through improving our environment.

Bedrock Earthscapes, LLC

SUSTAINABLE EARTHSCAPE SOLUTIONS

Notes:

1. Trash collection and removal are to be done by others.
2. All organic material will be kept on-site to recycle in place.
3. Bedrock Earthscapes, LLC will perform routine services in such a manner to limit disruption or inconvenience for the owner. The Owner will not limit or place undue scheduling constraints upon Bedrock Earthscapes, LLC's work schedule.

Please sign and return one copy of this proposal to authorize Bedrock Earthscapes, LLC to proceed.

Thank you.

Payment:

Billing for maintenance will be made in September upon completion of the proposed work. Payment will be made in full within 30 days of the billing date.

The Owner identified below, by its duly authorized representative, accepts the terms and conditions contained herein. This acknowledges authorization of services described above and the assent of the parties hereto to such terms and conditions.

On behalf of:

Bedrock Earthscapes, LLC



By: William A. Bedrossian

Title: Owner/Managing Member

Accepted on behalf of:

Wheaton Park District ("Owner")

By: _____

Title: _____



Enriching life through improving our environment.

TO: Board of Commissioners

FROM: Brian Kimbrough, Director of Parks and Planning
 Ian Pickett, Assistant Director of Parks and Planning
 Steve Hinchee, Superintendent of Planning

THROUGH: Michael Benard, Executive Director

RE: Native Area Maintenance – Added Scope

DATE: March 18, 2025



SUMMARY:

In 2025, the Parks and Planning department was restructured and the Conservation Manager position was eliminated. There are no plans to replace this position in 2026. For that reason, the District must increase its reliance on contracted services of our native and natural areas.

Bedrock Enterprises, our current native area maintenance contractor, and staff worked together to define added scope for sites under our existing contract, as well as adding new sites that were previously maintained in-house by WPD staff. The 2026 total of the additional scope is \$27,150.00.

The newly proposed services are summarized below:

- o Added Scope to Sites under current contract:
 - \$10,850.00 total
 - \$5250: Add overseeding at Northside, Cosley, CAC, Rathje
 - \$5600: Killing phragmites and cattails at AGC swale near entrance
- o New sites (or new areas within existing sites) at Arboretum Mews, Firefighters Park, AGC (entrance), Rathje (burn), Toohey (perimeter burn), Willow Point West (clearing)
 - \$16, 300.00 total
- o Total \$27,150.00

PREVIOUS COMMITTEE/BOARD ACTION:

Current Board consideration to approve year two (2) of the existing contract with Bedrock.

REVENUE OR FUNDING IMPLICATIONS:

FY2026	40-000-000-52-5210-0000	\$59,700	Maintenance, burns and overseeding
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STAKEHOLDER PROCESS:

N/A

LEGAL REVIEW:

Contract Documents will be reviewed by our legal counsel.

ATTACHMENTS:

2026 2027 Bedrock Briar Patch Park Proposal.

ALTERNATIVES:

N/A

RECOMMENDATION:

It is recommended that the Wheaton Park District Board of Commissioners enters a new contract with Bedrock Enterprises for \$27,150.00 in 2026.

February 26, 2026

SERVICE PROVIDER AGREEMENT

Mr. Ian Pickett, Assistant Director of Parks & Planning
Wheaton Park District
1000 Manchester Road
Wheaton, IL 60187

Re: 2026 and Future Native Areas Improvements

Ian,

In the Fall of 2025, Bedrock Earthscapes was asked to look at the sites listed below and to recommend needed improvements. The recommendations below are broken into three groups:

- Areas currently included in our 3-year native areas maintenance contract.
- Park District native areas sites not currently maintained by Bedrock Earthscapes, and
- A future burn of Lincoln Marsh.

After reviewing these recommendations, please let me know if you would like Bedrock Earthscapes to proceed with any of the recommended items.



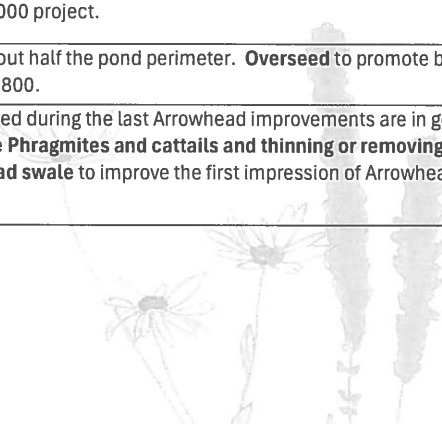
Bedrock Earthscapes, LLC

SUSTAINABLE EARTHSCAPE SOLUTIONS

Bedrock Earthscapes Native Areas Improvement Recommendations

2025-2027 Bedrock Contract sites	Areas of improvement for consideration	Cost
Northside Park (<i>Lagoon shoreline, sled hill & detention area</i>)	\$6,700 of overseeding will be done in the Spring of 2026 to address immediate concerns. Consider budgeting for \$2,500 for broadcast native overseeding for the next 4 years to encourage continued native quality throughout all areas not already scheduled for seeding this year. A section would be done each year on a planned rotation until all needed area have been overseeded.	\$ 2,500.00
Cosley Zoo	The two small parking lot islands have done poorly due to traffic and salt. The basin bottom constantly has cattail and Phragmites pressure. Overseed the two small parking lot islands, and the basin bottom with appropriate native seed to address these issues and improve the native plant cover. \$750.	\$ 750.00
CAC Detention Area - West side of Main St.	This basin was 100% covered with cattails and Reed Canary Grass six years ago. Cattails have now been killed off but the banks and bottom have very limited native diversity. Overseed the banks and basin bottom to promote more native growth, diversity and beauty. \$1200.	\$ 1,200.00
Elliot Lake	Good native grasses are growing on the slopes and emergent plants along the water edge. Water edge erosion on the south and west banks has been an issue and has been partially addressed. The creek/pond barrier has been breached by muskrats and repaired several times. The creek/pond barrier is getting thin in some areas and will likely need a rock-toe installed to stop long-term erosion and discourage the muskrat channeling. That is probably a \$15,000-20,000 project.	Will propose separately upon request.
Rathje Shoreline	Good natives are present in about half the pond perimeter. Overseed to promote better native growth where needed. \$800.	\$ 800.00
Arrowhead Parking Lot Detention by cart building	Stormwater native BMPs required during the last Arrowhead improvements are in good shape. Consider killing off the Phragmites and cattails and thinning or removing weed trees along the Butterfield Road swale to improve the first impression of Arrowhead from Butterfield road.	\$ 5,600.00

\$10,850.00



Bedrock Earthscapes, LLC

SUSTAINABLE EARTHSCAPE SOLUTIONS

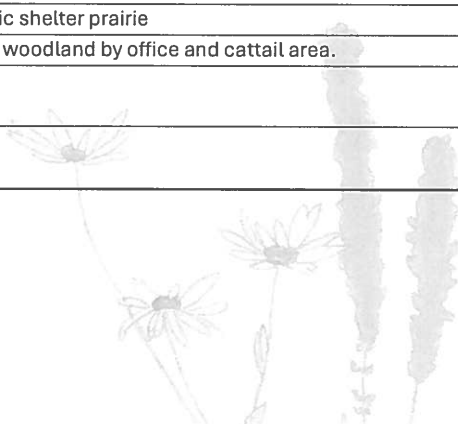
Other sites or native areas not currently maintained by Bedrock Earthscapes.		Proposed Costs
Arboretum Mews	There is small degraded area covered with small weed trees and shrubs along Leask Lane with a small low-quality meadow in interior. Woodies along the road should be removed to make this a nice open meadow area from Leask lane to the creek. A burn is not recommended until a clean up is done because significant burn prep would be required to access and control a fire in the small central meadow. Clear all woody weeds from Leask lane to the creek.	\$ 3,800.00
Arrowhead Golf Course native areas burn	Most area marked on the burn map we were given are no-mow turf areas that should be mowed annually, not burned. Most have already been mowed. Burning no-mow areas weaken the turf and increase weed issues. Some native areas and pond edges can be burned. Probably a half-day with Justin's help.	\$ 3,600.00
Firefighters Park	We were asked to look at a burn at this site. A burn is not recommended at this site until more perimeter control is completed. The biggest issue here are all the cattails in the large south pond area. The .28 acre north bank of the north pond is almost all weed trees along the homes and cannot be burned. The south edge of the south pond is inaccessible right now and would take significant effort to prepare prior to a burn. The west bank has evergreen trees that will need to be mowed around prior to a burn and may get scorched. Burning cattails without a planned herbicide program to kill them off is just a burn load reduction exercise and a continual repeat expense without real improvement. The banks on both sides of the path that separates the two pond areas have been greatly improved over the last two years. The focus here should be to maintain and expanded the outer perimeter bank areas where the greatest opportunities to control weeds and cattails exist. Around the north pond that would include the east half of the north bank, the east bank, and the south bank. Around the large south pond, that would include the north bank, and the west banks. Annual maintenance of all perimeter banks is needed for 2 to 3 years at \$3,800 per year.	\$3,800
Rathje Park burn	Controlled burn should be done annually.	\$ 700.00
Toohey Park burn	Significant work has been done here over the last 4 years, and this is now a nice native perimeter area. The perimeter natives should be burned annually.	\$ 1,200.00

Bedrock Earthscapes, LLC

SUSTAINABLE EARTHSCAPE SOLUTIONS

Willow Point East: Degraded Phragmites basin	This entire area, not just the center, is degraded and needs to be burned and then herbicided two times a year. Phragmites and cattails fill the interior wet area, and small woody weeds and tall herbaceous weeds line the outer perimeter. 2 herbicide treatments a year are needed at \$1,600/yr for 2 years. A burn would cost \$1400 and should be done after one year of herbicide treatments. Overseeding may be needed once weed growth is controlled. There is some question about the property line that must first be determined.	To be confirmed once property lines are determined.
Willow Point West: Walnut woodland understory clearing	This very nice, mature walnut woodland needs to have the non-desirable understory brush cut and chipped. A burn is not needed here. Clear the non-desirable woody understory and chip the cut material back into the woods.	\$ 3,200.00
		\$16,300.00

Lincoln Marsh Woods and Cattail Areas Burn. Considerations for future burns	If burns are going to be done on a routine basis here, maintenance efforts should support creating a safe and simple burn experience with minimal burn prep. The wood chip paths create a natural break, but can carry fire. Mowed burn breaks should be maintained several times a year by mowing along the paths when moisture conditions permit. Also mow around wooded areas not to be burned or to be burned as separate areas. These proposed costs can be reduced if WPD Staff works with Bedrock staff as part of the burn crews.	
Lincoln Marsh East	North cattail area and picnic shelter prairie	\$ 4,500.00
Lincoln Marsh Central	Two significant areas. Oak woodland by office and cattail area.	\$ 9,500.00
Lincoln Marsh West, North of boardwalks		\$ 9,500.00
Lincoln Marsh West, South of boardwalks		\$ 9,500.00
		\$33,000.00



Bedrock Earthscapes, LLC

SUSTAINABLE EARTHSCAPE SOLUTIONS

Please indicate items with which you would like Bedrock Earthscapes to proceed, and sign and return one copy of this proposal to authorize Bedrock Earthscapes, LLC to proceed.

Thank you.

Payment:

Billing for 2026 burns will be invoiced upon completion. Maintenance work will be invoiced in September upon completion of the proposed work. Project work will be invoiced upon completion of the project. Payment will be made in full within 30 days of the billing date.

The Owner identified below, by its duly authorized representative, accepts the terms and conditions contained herein. This acknowledges authorization of services described above and the assent of the parties hereto to such terms and conditions.

On behalf of:

Bedrock Earthscapes, LLC



By: William A. Bedrossian

Title: Owner/Managing Member

Accepted on behalf of:

Wheaton Park District ("Owner")

By: _____

Title: _____



TO: Board of Commissioners
FROM: Brian Kimbrough, Director of Parks and Planning
Steve Hinchee, Superintendent of Planning
THROUGH: Michael Benard, Executive Director
RE: Alarm Monitoring Services
DATE: March 18, 2026



SUMMARY:

There are several facilities that require continual monitoring of our security alarm systems that are effectively performed by a vendor, as part of an overall initiative to maintain security measures across existing facilities. The scope of the work includes monitoring the addresses and the devices for each location listed below. This does not include adding any new equipment nor performing monthly inspections.

The 14 facilities being monitored:

- DuPage County Historical Museum
- Cosley Zoo Gift Shop
- Cosley Welcome Center / Barn
- Ray Morrill Community Center
- Mary Lubko Center
- Lincoln Marsh Office
- Parks Services Center
- Prairie Office Building
- Central Athletic Complex
- Memorial Park Bandshell
- Toohey Park
- Rathje Park
- Clocktower Commons
- Northside Pool
- Blanchard Building

Quotes were solicited on January 29th, 2026. The results were as follows:

Contractor	2026	2027	2028
ADS	\$12,474	\$12,864	\$13,242

ADS (Alarm Detection Systems Inc) was the sole bidder, despite sending the bid to five contractors. They currently monitor our security systems, and we are pleased with their work.

PREVIOUS COMMITTEE/BOARD ACTION:

The Board of Commissioners approved the Alarm Maintenance & Monitoring Services bid from ADS in April of 2023 in the amount of \$10,656 per year for a three-year term.

REVENUE OR FUNDING IMPLICATIONS:

Fiscal Years	Account:	Budget:
2026 - 2028	40-000-000-52-5210-0000	\$17,000

STAKEHOLDER PROCESS:

N/A

LEGAL REVIEW:

Legal reviewed previous contract that will be the basis for contract moving forward.

ATTACHMENTS:

N/A

ALTERNATIVES:

N/A

RECOMMENDATION:

It is recommended that the Wheaton Park District Board of Commissioner's approve the base bid for alarm monitoring services from ADS for 2026 in the amount of \$12,474 with options to renew for additional one-year terms in 2027 and 2028.

TO: Board of Commissioners

FROM: Brian Kimbrough, Director of Parks and Planning
Joe Themel, Superintendent of Fleet & Parks

THROUGH: Michael Benard, Executive Director

RE: Kifco B140 Water Reels

DATE: March 18, 2026



SUMMARY:

The district has budgeted for the addition of three new portable water cannons to our equipment fleet. These units will be used as a crucial part of our turf maintenance plan, to build and maintain healthy turf on all natural grass fields, which includes active, rested, and repaired areas. The water cannons are equipped with gasoline-powered booster engines to increase spray distance, as well as self-reeling and automatic shutoff features, allowing staff to continue working while irrigation is in progress.

The district currently operates two Kifco B140 water reels that have been heavily used and have shown great durability and performance. As the district looks to expand its watering capabilities and overall field care, additional portable water cannons will be needed to meet the demand and maintain field quality.

We have obtained three quotes for Three (3) Kifco Water Reels from nearby companies we do business with:

Vendor	Equipment	Bid
Reinders	Kifco B140 3 Water Reels	\$46,524.00
Siteone Landscape supply	Kifco B140 3 Water Reels	\$46,812.07
Conserv FS	Kifco B140 3 Water Reels	\$48,600.00

PREVIOUS COMMITTEE/BOARD ACTION:

N/A

REVENUE OR FUNDING IMPLICATIONS:

The FY2026 Budget includes \$51,000.00 for Three (3) water cannons.

STAKEHOLDER PROCESS:

Not applicable.

LEGAL REVIEW:

Not applicable.

Reinders Quote – Site one Landscape supply Quote - CONSERV FS quote.

ALTERNATIVES:

N/A

RECOMMENDATION:

Staff recommends the purchase of Quantity Three (3) Kifco B140 Water reels from Reinders in the total amount of \$46,524.00 dollars.

Reinders

Quote

Account: 365414
Wheaton Park District
855 W Prairie Avenue
Wheaton IL 60187
Attn: Joe

Prepared By:
Grant Rundblade
Territory Manager
911 Tower Road
Mundelein, IL 60060
Cell (815) 988-6303
Fax (847) 678-5511
grundblade@reinders.com

<u>Quote ID</u>	Quote Valid Until 3/7/26
<u>Quote Date</u> 2/5/26	Tax may not always be included in quote

PRICE QUOTATION

QTY	CODE	DESCRIPTION	PRICE DETAILS
-----	------	-------------	---------------

3	B140	<u>Kifco B140 with 5.5hp Booster Pump, 350' Hose</u> *Komet Twin Max Nozzle	\$46,524.00
---	------	--	-------------

Subtotal:	\$46,524.00
Dealer Assembly & Delivery:	\$0.00
Final Sales Price:	\$46,524.00

Bid



Stronger Together

Downers Grove IL #14
5379 Walnut Ave
Downers Grove, IL 60515-4108
W: (630)515-8555

Bill To:

Wheaton Park District (#10982)
102 E Wesley St
Wheaton, IL 60187-5321
W: (630)665-4710

Ship To:

Wheaton Park District (#10982)
102 E Wesley St
Wheaton, IL 60187-5321
W: (630)665-4710

Created	Quote#	Due Date	Expected Award Date	Expiration Date
02/05/2026	8228624	03/05/2026	03/05/2026	03/05/2026

Printed	Job Name	Job Description	Job Start Date
02/05/2026 15:43:23	Kifco 2026 updated pricing		03/05/2026

Line #	Item #	Item Desc	Qty	UOM	Unit Price	Extended Price
1	51314002KTM	B140 + Twinmax + Decal Kit	3		11,243.600	33,730.80
2	50006820	5.5 Hp Honda Booster Pump (B3)	3	EA	2,592.663	7,777.99
3	50308530-SO	Mounting Kit (B3)	3		1,580.321	4,740.96
4	FREIGHTOUTBILLED	Freight	1	EA	562.319	562.32

Total Price: \$ 46,812.07

Quoted price is for material only. Applicable sales tax will be charged when invoiced. All product and pricing information is based on the latest information available and is subject to change without notice or obligation. Local tax may differ based on locations and local codes.



4720 Yender Avenue ♦ Lisle, IL 60532
Toll Free 1-888-963-7333 ♦ Local (630) 963-8787
Fax (630) 963-8814 ♦ www.natseed.com
www.conservfs.com

February 5th, 2026

Wheaton Park District

Komet Twinmax B140 Water Reel w/5.5 HP Honda Gas w/Franklin

Price for 3 units: \$46,350.00

Estimated delivery for 3 units: \$2,250.00

Total delivered price for 3 units: \$48,600.00

Quote is good for 30 days



TO: Board of Commissioners

FROM: Brian Kimbrough, Director of Parks and Planning
Ian Pickett, Assistant Director of Parks and Planning
Nic Novak, Superintendent of Parks and Projects

THROUGH: Michael Benard, Executive Director

RE: Spring Athletic Field Turf Product Order

DATE: March 18, 2026

SUMMARY:

The Parks and Planning department aims to aggressively improve the turf quality on the Wheaton Park District's athletic fields. Parks staff worked with Justin Kirtland and Arrowhead Golf Course staff in fall 2025 to improve turf in select locations within Seven Gables Park.

In Spring 2026, staff will continue and expand on this new athletic field turf maintenance program. We aim to order products for our spring 2026 applications and will prepare solicitations for our summer and fall applications at a later date. In future years, we plan to consolidate our purchasing to one annual order, similar to golf's process.

A variety of different chemicals, seeds, and fertilizers are used in the maintenance of athletic field turf. The products we aim to use will likely change annually based on growing conditions (precipitation and temperature), severity of turf damage, athletic field usage, and threats from pests and disease.

Alternate brands of products with similar active ingredients may not use the same technology or produce the desired results. Because of this we prefer to use name brands until we can test the others ourselves or get reliable information from industry peers about the effectiveness of each. We will continue to explore generic and off-brand options in the future.

We may not always choose the least expensive product when an alternative is offered. Many chemicals have different formulations or release rates that make them difficult to control and, in many cases, increase the number of applications required. In other cases, the active ingredients are different, and the products are not the same. We may choose to accept bids for alternatives, as well as the original products in some cases, to allow for the testing of products and to use them if they prove effective.

PREVIOUS COMMITTEE/BOARD ACTION:

N/A

REVENUE OR FUNDING IMPLICATIONS:

There is \$150,000.00 budgeted in 20-101-000-53-5349-0000 for Athletic Field supplies, including turf products.

ALTERNATIVES:

N/A

RECOMMENDATION:

It is recommended that the Wheaton Park District Board of Commissioners approve proposals highlighted in yellow on the Attached Chart. Alternates are listed in red, may not be direct comparisons. The breakdown is as follows:

Results

Spring 2026 Athletic Field Turf Products RFP				
Product	Unit Size	Advanced Turf Solutions	Tyler Enterprises	Conserv FS
21-0-0 Ammonium Sulfate	50-lb bag	\$19.95	\$18.20	\$16.50
Anderson's 16-0-8 + Escalade	50-lb bag	\$25.00	\$27.70	\$27.00
Anderson's 22-0-4 w/ HCU and Black Gypsum DG	50-lb bag	\$39.10	\$43.70	-
Anderson's 21-22-4 with Mesotrione	50-lb bag	\$59.95	\$65.00	\$65.00
22-3-11 50% XCU w/ Foliar-Pak Armament	50-lb bag	\$23.00	\$27.70	\$28.00
ATS Barenburg HGT Seed w/ Foliar-Pak XCD (KBG)	50-lb bag	\$212.50	-	\$247.50
ATS Barenburg RPR Seed w/ Foliar-Pak XCD (Rye)	50-lb bag	\$125.00	-	\$94.50

We have used Advanced Turf Solutions and Conserv FS in the past and are satisfied with their products and service.

TO: Board of Commissioners
FROM: Brian Kimbrough, Director of Parks and Planning
Adam Lewandowski, Director of Athletic Programs & Facilities
Steve Hinchee, Superintendent of Planning
THROUGH: Michael Benard, Executive Director
RE: Rice Pool & Aquatic Center Concept and Cost Study
DATE: March 18, 2026



SUMMARY:

The Rice Pool is 36 years old, and it is time to consider renovations to ensure its continued viability and meet the needs of the community. Previously FGM Architects and Counsilman-Hunsaker & Associates conducted an audit of existing conditions to assess what would be needed to continue operation in the future and what costs may be involved to renovate or upgrade various systems and features to current standards. As a next step staff are seeking to engage an architect to develop concept plans and cost estimates. FGM Architects and Williams Architects each provided a proposal for this work.

PREVIOUS COMMITTEE/BOARD ACTION:

The concept was reviewed and discussed at the Capital Projects review meeting on January 17, 2026. The Board reached consensus that it required more information for their consideration of the future improvements.

REVENUE OR FUNDING IMPLICATIONS:

Account 40-800-846-57-5701-0000 has \$200,000 budgeted in 2026 for Rice Pool study.

STAKEHOLDER PROCESS:

Athletic Department Staff will be involved in the concept and feasibility planning process.

LEGAL REVIEW:

Legal counsel will draft a professional services agreement.

ATTACHMENTS:

FGM Architects proposal
Williams Architects proposal

We have prior experience with both firms. We have attached only portions of their comprehensive proposals including the introductory letter, fee/schedule proposal and relevant background and experience.

RECOMMENDATION:

Recommendation to approve a professional services agreement for concept designs and construction cost estimates from FGMA Architects in the amount of \$7,500

WHEATON PARK DISTRICT

2026 Rice Pool and Water Park Conceptual Planning Services
February 26, 2026





SECTION

1

Introduction Letter





February 26, 2026

Mr. Steve Hinchee
Superintendent of Planning
Wheaton Park District
102 E. Wesley St, Wheaton, Illinois 60187

Re: 2026 Rice Pool and Water Park Conceptual Planning Services, Wheaton, Illinois

Dear Mr. Hinchee:

We are very excited to submit this proposal to develop concept plans to renovate or rebuild your exceptional Rice Pool and Water Park aquatic facility. Our proposed team has two long-time Wheaton Park District residents, who have both spent extensive time at Rice Pool while raising our kids in Wheaton. We understand the positives and negatives associated with the existing pool layout through personal experience, in addition to our 2025 Facility Assessment Study. Our team members have completed more than 175 aquatics projects. Our ability to deliver innovative solutions that support our clients' goals and meet their financial objectives sets us apart from other firms. FGM Architects (FGMA) is excited for the opportunity to work with the Wheaton Park District and continue to build a strong relationship with the Park District.

Our team is well-positioned to help the Wheaton Park District develop concept plans and budgets for Rice Pool to chart the best path moving forward. Our entire team will work closely with the Park District to understand the needs of the community while being the champion for staff and operator expectations. We will provide the Wheaton Park District:

Leadership in Aquatic Design. Our team has experience locally, regionally and nationally in this specialized aquatic planning and design. This includes assessing, programming, planning and design for both new and renovated aquatic and other leisure facilities, including pools, water parks, spray grounds and splashpads.

Knowledge in the deployment of best practices for aquatic, park and recreation center design. Our team's profound experience with operations and management of recreation amenities will make our assessment real and impactful for the District, creating a foundation for planning, financial and operational evaluations.

Unparalleled talent in working with public constituencies. In particular, FGMA works with aquatic and recreation operators, and municipalities – to achieve consensus and establish a stable project foundation.

Delivering signature recreation/aquatics projects to communities is what we do best. We encourage you to contact our references as their satisfaction is the best demonstration of our success on similar projects. With offices in Westchester and Chicago, our team can quickly respond to the Park District's needs at any time. We welcome the opportunity to collaborate with the Wheaton Park District on this exciting project. Please feel free to contact us with any questions or need additional information.

Sincerely,

Dan Nicholas, AIA
Principal-in-Charge
DanNicholas@fgmarchitects.com | 630.576.1086

John Dzarnowski, AIA
Recreation Subject Matter Expert & CEO
JohnDzarnowski@fgmarchitects.com | 630.368.8319



SECTION

4

Fee Proposal



FGMARCHITECTS

February 26, 2026

Mr. Steve Hinchee
Superintendent of Planning
Wheaton Park District
102 E. Wesley St
Wheaton, Illinois 60187

Re: 2026 Rice Pool and Water Park Conceptual Planning Services, Wheaton, Illinois

Dear Mr. Hinchee:

FGM Architects is pleased to submit this proposal to provide architectural services for Rice Pool and Water Park in Wheaton, Illinois. We are very excited at the possibility of continuing our relationship with the Park District with this effort. We believe that our team is uniquely qualified to deliver a successful project for the Wheaton Park District.

- We are long-time Wheaton Park District residents, and have spent extensive time at Rice Pool while raising our kids in Wheaton.
- FGMA provides a collaborative process with clients, community and consultants leading to a more integrated project approach and better quality of project documentation and coordination.
- Team members and consultants have extensive experience in aquatic and recreational facilities and are skilled facilitators of community participatory processes.
- FGMA brings to the project a reputation for design excellence and quality service throughout Illinois.

We have enclosed a copy of our proposal for your review. Should you have any questions regarding the enclosed proposal or require additional information please let us know. We look forward to the opportunity to assist the Wheaton Park District with this project.

Sincerely,



FGM Architects Inc.
John Dzarnowski, AIA, NCARB | CEO
johnd@fgmarchitects.com

WE BUILD COMMUNITY
FGM Architects Inc. | An Employee-Owned Firm
Illinois • Missouri • Texas • Virginia • Wisconsin

Proposal for

Architectural Services

for

2026 Rice Pool and Water Park Conceptual Planning Services
Wheaton, Illinois

Submitted to:

WHEATON PARK DISTRICT
102 E. Wesley
Wheaton, Illinois 60187

By:

FGM ARCHITECTS INC. (FGMA)
1 Westbrook Corporate Center, Suite 1000
Westchester, Illinois 60154

February 26, 2026

2 of 7

1.0 SCOPE OF PROJECT

- 1.0.1 Wheaton Park District, hereinafter referred to as the Owner, intends to develop a **Concept Plan** for a potential replacement pool facility or pool renovation at Rice Pool.
- 1.0.2 The property for the Project is currently owned by the Wheaton Park District.
- 1.0.3 We do not anticipate any zoning requirements for this phase of the Project.

2.0 SCOPE OF ARCHITECT'S SERVICES

FGM Architects Inc., hereinafter referred to as FGMA or Architect, shall provide the following Professional Architectural Services for the Project:

2.1 Concept Planning Services

- 2.1.1 Architect shall prepare up to three (3) concept plans, working with Park District staff and Board, to identify potential future pool options, aquatic features and amenities for the site including the following:
 - .1 Pre-application meeting with permitting authorities
 - .2 Proposed design solution
 - .3 Meet with staff to review designs
 - .4 Provide executive summary of report
 - .5 Present concepts to park board for approval
- 2.1.2 In preparation for developing the concept plans, the Architect will study existing conditions and available information, such as:
 - .1 Review available plan documents
 - .2 Data collection (existing utility locations and capacity, easements, etc.)
- 2.1.3 Architect will prepare a budget for each concept developed to aid in decisions regarding project scope. A third-party construction management company will then be engaged to verify budget decisions, and update the project budgets, by providing cost estimates for each of the concepts. We would propose to engage IHC Construction Companies LLC to provide the third-party cost estimates. FGMA has worked with many Construction Managers and General Contractors over the years to build aquatic facilities; W. B. Olson, Inc, Corporate Constructions Services (no longer in business), Lamp Incorporated, Schaeffges Brothers, Inc., to name a few. All of these are great construction managers who provide excellent pre-construction services including cost estimating and who we would be happy to partner with. For this project, we are proposing IHC Construction due

to their depth of experience working with FGMA and/or our team members. This experience leads to a greater depth of understanding the specifications of the final, built project while estimating at a very early, conceptual level.

- .1 We currently have 2 aquatic projects under construction with IHC for the Clarendon Hills Park District and the Roselle Park District.
- .2 IHC Construction recently completed a project for the Norridge Park District designed by FGM Architects and Counsilman-Hunsaker.
- .3 Jim Leppert, formerly with IPRM and PHN Construction, has over 30+ aquatic projects on his resume, many with FGMA team members.

2.1.4 Our team is available to assist the Park District with any of the following services, for an additional fee, if desired:

- .1 Meetings with neighbors or the community to solicit and incorporate feedback on the proposed concepts before presentation to the Park Board.
- .2 We will solicit feedback from our aquatic engineer, Counsilman-Hunsaker, who helped prepare the previous Pool Audit, as necessary to clarify or augment concept planning best practices or decisions for this project.
- .3 Our Aquatic Engineer, Counsilman-Hunsaker can provide community engagement services through online data-gathering and aquatics-focused workshops, meetings with community representatives and stakeholders to develop a list of priorities for the facility's uses and objectives.
- .4 Our Aquatic Engineer, Counsilman-Hunsaker, can provide revenue and expense projections to operate any or all of the concept plans developed. These projections, often call a "Pro-forma Analysis" include detailed calculations of annual operating revenues and expenses based on the specific concept, the gathered data and analytical research; opinions of financial performance (e.g., positive or negative cash flow), projected annual operating budget and sources of funding.

2.1.5 We are ready to begin this project immediately, and believe the conceptual drawings portion of the project will be completed within 2 months of the start date. If any public meetings are added to the scope of the project, this may extend the time period slightly to accommodate scheduling these meetings. After completion of the conceptual drawings, an additional 3 weeks is necessary to complete the third-party cost estimates of the concepts.

2.1.6 We would propose modifying the included "Indemnification" clause included in the "General Insurance Provisions" to match the "Indemnification" clause agreed to between FGMA and the Wheaton Park District for the "Wheaton Park District

Arrowhead Driving Range Improvements” Agreement dated September 29, 2025.

2.2 Consultants

- 2.2.1 IHC Construction Companies LLC will be engaged as the Construction Manager to provide cost estimating services. No other consultants are provided for this scope of work.
- 2.2.2 Survey, geotechnical (soil borings), material testing and hazardous waste engineering services are not included in this proposal.

3.0 ARCHITECT'S COMPENSATION

The Owner shall compensate FGM Architects for professional Architectural services rendered in connection with the Project under this Proposal as follows:

- 3.1 For all professional services in connection with the **Concept Planning Services** as described in **Paragraphs 2.1 and 2.2** above we propose a **Lump Sum Fee of \$7,500 plus Reimbursable Expenses** as defined within this Proposal (local travel (travel less than 100 miles), phone, fax, and printing of review sets for design coordination shall not be charged as a Reimbursable Expense). Fees for the project are distributed as follows:
 - .1 FGMA (Concept Plans & Budgets): \$7,500
 - .2 IHC Construction (Cost Estimates): no charge
- 3.2 For any Additional Services authorized by the Owner beyond the scope of this Proposal FGMA shall be compensated on the basis of the hourly rates described in the attached Hourly Rate Schedule for the professional and technical employees engaged on the Project plus Reimbursable Expenses. Consultants Hourly Billing Rate Schedule for the Project, if applicable, shall be forwarded to Owner upon Owner’s request.
- 3.3 In addition to the compensation above, FGMA shall be reimbursed for additional expenses in connection with the Project, invoiced to the Owner at One Hundred Ten Percent (1.10) times Architect’s actual direct cost of same, for the below items. We currently do not anticipate any Reimbursable Expenses for this Project.
 - 3.3.1 Expense of postage and/or delivery.
 - 3.3.2 Expense of reproducing or scanning Owner’s “existing conditions drawings” or “construction drawings” of facilities being evaluated.

- 3.3.3 Expense of presentation boards printed “out-of-house” or models authorized by the Owner.
- 3.3.4 Travel and living expenses in connection with Architect’s out-of-town travel (if required) as authorized in advance by the Owner.
- 3.3.5 Fees and expenses of any consultants not included in 2.2 above.
- 3.3.6 Expense of Contract Document printing for permit submittal.
- 3.3.7 Any fees paid by FGMA to authorities having jurisdiction over the project.
- 3.3.8 Expense of Contract Document printing for bidding and construction purposes.

3.4 Payments

3.4.1 Payments shall be made by the Owner to FGMA upon receipt of FGMA's invoice in accordance with the Local Government Prompt Payment Act.

3.5 Non-payment of invoices shall constitute grounds for discontinuing service.

4.0 FORM OF AGREEMENT

4.1 Should our proposal be acceptable; execution of the signature page below will indicate acceptance of this proposal, and this document shall serve as our Agreement for the work indicated above, unless the Owner wishes to negotiate a different form of Agreement.

We appreciate this opportunity to be of service to the Wheaton Park District for this exciting Project.

FGM ARCHITECTS INC.

Agreed and Accepted by:

Wheaton Park District

FGM Architects Inc.

By _____

By _____

Title _____

Title _____

Date _____

Date _____

HOURLY RATE SCHEDULE

Effective February 1, 2026**

Where the fee arrangements are to be on an hourly basis, the rates shall be those that prevail at the time services are rendered. Current rates are as follows:

FGM ARCHITECTS INC.

Arch V	\$320.00
Arch IV	\$275.00
Arch III	\$240.00
Arch II	\$200.00
Arch I	\$160.00

Interior Designer IV	\$270.00
Interior Designer III	\$220.00
Interior Designer II	\$170.00
Interior Designer I	\$140.00

Intern	\$85.00
Project Administrator	\$150.00

*Hourly rates are subject to adjustment on November 1 each year.



SECTION

2

Background and Experience





In collaboration with our clients, we create aquatic facilities that are inclusive, environmentally responsible and true to their surroundings.

For more than 30 years, FGMA has been leading the conversation about recreation architecture.

Designing extraordinary aquatics facilities that enhance the quality of life, foster community engagement, and promote water stewardship - all while delivering exceptional value to our clients.

FIRM NAME

FGM Architects Inc. (FGMA)

PROJECT OFFICE LOCATION

1 Westbrook Corporate Center, Suite 1000
Westchester, Illinois 60154
630.574.8300

FGMA specializes specializing in the design and development of innovative aquatics facilities. With a deep passion for water-centric design and a commitment to excellence, we create aquatic spaces that inspire, entertain, and promote wellness. Our team of architects collaborate closely with clients to deliver unique solutions that exceed expectations and transform visions into reality.

Our in-house team of architects and interior designers is dedicated to delivering specialized solutions that reflect the unique needs of each facility and exceed the expectations of users.

Our diverse portfolio of projects includes community aquatic centers, water parks, splash pads, and natatoriums. Interior space planning, finishes selection, and furnishings procurement create inviting and comfortable indoor environments within aquatics facilities, including locker rooms, concession areas, and event spaces.



HIGH-PERFORMANCE DESIGN IS GOOD DESIGN



High-performance design embodies a holistic approach, emphasizing resilience to shocks, long-term operational efficiency, resource conservation and the well-being of building occupants.

WHY IS IT IMPORTANT?

High-performance design is essential as it integrates resilience, operational efficiency, resource conservation, and occupant well-being, ensuring that buildings withstand shocks and stresses but also contribute positively to the environment and human experience.

As an organization, our drivers for delivering projects that integrate these core concepts are centered around the following principles:

- **Responsible Design:** Passionate about designing great spaces and taking the long-term implications of solutions seriously.
- **Community Aspect:** Thrive on bringing creative solutions that have a broader community impact.
- **Data Driven:** Using data-driven design to optimize building design and systems, creating safe, secure, comfortable spaces. Informed design decisions can impact the long-term operational costs of a building as well as the health and wellness of its users.

Our discovery process begins with a conversation about project goals and priorities and establishing performance targets. Measurement and verification of goals are a key component of designing solutions that are rooted in data and based on the specific, unique needs of the project and the people who use it. This allows us to identify and measure community impact.

RESILIENT DESIGN

Communities face both acute shocks (e.g., severe storms) and chronic stresses (like climate change) affecting residents' livelihoods. Assessing projects through a resilience lens provides a comprehensive view, benefiting both construction and location. This method identifies key challenges, considers responses, and implements successful solutions.

SUSTAINABLE DESIGN

Sustainable design minimizes a facility's environmental impact by considering local, regional, and global communities, along with ecological, economic, and social needs. We balance these factors with your budget and goals to achieve energy savings, lower operating costs, enhance occupant comfort, and promote stewardship of natural resources.

WELLNESS

Wellness focuses on health, well-being, and quality of life. Designing for wellness is embedded in our philosophy. In early conversations and planning sessions, we conduct extensive research and data gathering to fully understand occupants' and community needs. The findings combined with best practices and your vision and goals informs the design, promotes belonging, and ultimately strengthens the human experience.

BIOPHILIC DESIGN

Biophilic design is the practice of connecting nature, human biology, and the built environment. It can reduce stress, enhance cognitive function, and improve mood and performance. We integrate natural materials such as wood, stone, vegetation, along with daylight and colors inspired by nature. Incorporating biophilic design is proven to have the same effect as being outside.

Our experience demonstrates that FGMA brings to the Wheaton Park District the necessary skills to translate your needs into reality.

Our experience brings value to your project. We provide quality design that responds to the functional and aesthetic requirements of each project. We consistently deliver projects that are reflective of the high level of energy and creativity of our team.

We have the leadership expertise to oversee the schedule, budget, communication and management issues involved in projects.

The projects we have highlighted on the following pages are just a few of the solutions FGMA has provided to our clients to meet their special and unique needs.



FGMA AQUATIC FACILITY EXPERIENCE

ARLINGTON HEIGHTS PARK DISTRICT, IL
Arlington Ridge Center *RENOVATION*

BLOOMINGDALE PARK DISTRICT, IL
Oasis Water Climbing Wall
Oasis Water Park *RENOVATION*

CITY OF EDWARDSVILLE, IL
Spray and Play Park

CITY OF HIGHLAND, IL
Pool Study & Design *FEASIBILITY STUDY*

CITY OF MT. VERNON, IL
Aquatic Facility *MASTER PLAN*
Mt. Vernon Aquatic Zoo

CITY OF PONTIAC, IL
Pontiac Pool *FEASIBILITY STUDY*

CITY OF SALEM, IL
Salem Aquatic Center

CLARENDON HILLS PARK DISTRICT, IL
Lions Park Pool Facility *AUDIT*

DEERFIELD PARK DISTRICT, IL
Mitchell Park Pool *RENOVATION*

EAST ST. LOUIS PARK DISTRICT, IL
Pop Myles Aquatic Park
CONCEPT DESIGN

ROCKFORD PARK DISTRICT, IL
Magic Waters Little Lagoon *RENOVATION*

GLEN ELLYN PARK DISTRICT, IL
Sunset Pool *RENOVATION*

LOMBARD PARK DISTRICT, IL
Moran Water Pool *AUDIT*
Paradise Bay Aquatic
Paradise Bay Water Park *ENHANCEMENTS*

MT. PROSPECT PARK DISTRICT, IL
Big Surf Water Park *STUDY*

NORRIDGE PARK DISTRICT, IL
Pool *AUDIT & REPLACEMENT*

NORTHBROOK PARK DISTRICT, IL
Sports Center Pool *RENOVATION*

VILLAGE OF LINCOLNWOOD, IL
Proesel Park Aquatic Center *MASTER PLAN*

WARREN O'PLAINE HS, IL
Pool *RENOVATION & UPGRADE STUDY*

CITY OF FARMINGTON, MO
Aquatic Center *RENOVATION*

BOLINGBROOK PARK DISTRICT, IL
Bolingbrook Recreation and Aquatic Center (BRAC)

GURNEE PARK DISTRICT, IL
FitNation Aquatic *RENOVATION*
Hunt Club Aquatic

PARK RIDGE PARK DISTRICT, IL
Centennial Aquatic Center *RENOVATION*

STREAMWOOD PARK DISTRICT, IL
Recreation Center-Indoor Aquatic

HANOVER PARK DISTRICT, IL
Seafari Springs Aquatic

HINSDALE GOLF CLUB, IL
Aquatic Center, Tennis Complex and Turf Care Center *NEW*

ITASCA PARK DISTRICT, IL
Pool Deck *RENOVATION*
Water Park Bathhouse *REPLACEMENT*

KANKAKEE PARK DISTRICT, IL
Splash Valley Aquatic Park

LAKE BLUFF PARK DISTRICT, IL
Lake Bluff Pool *AUDIT, REPAIRS & ADDITION*
Blair Park Pool *CONCEPTS & RENOVATION*
Pool & Sunrise Beach *RENOVATION*

NILES PARK DISTRICT, IL
Howard Leisure Center *RENOVATION*

EVANSTON GOLF CLUB, IL
Aquatic Campus *NEW*

VILLAGE OF GLENDALE HEIGHTS, IL
Aquatic Center *EXPANSION & RENOVATION*

DEERFIELD PARK DISTRICT, IL
Deerspring Splash Pad

CHICAGO PUBLIC SCHOOLS, IL
More than 75 Pool *RENOVATIONS*
Clemente HS Pool *RENOVATION*

LIST OF IN-PROGRESS PROJECTS

ARLINGTON HEIGHTS PARK DISTRICT, IL
Recreation Park Pool *REPLACEMENT*

DUNDEE TOWNSHIP PARK DISTRICT, IL
Aquatics Assessment

CLARENDON HILLS PARK DISTRICT, IL
Lions Park Pool *RENOVATION*

ROSELLE PARK DISTRICT, IL
Kemmering Pool *RENOVATION*

NORTHBROOK PARK DISTRICT, IL
Meadowhill Aquatic Center *RENOVATION*

TO: Board of Commissioners
FROM: Brian Kimbrough, Director of Parks and Planning
Steve Hinchee, Superintendent of Planning
THROUGH: Michael Benard, Executive Director
RE: CUSD-200 Temporary Construction Easement Agreement
DATE: March 18, 2026



SUMMARY:

Community Unit School District 200 will begin construction on Eddison Middle School Property as part of their recent successful referendum. Work includes the expansion of the gymnasium into property formerly leased by the park district and other interior non athletic portions of the school building. The school district previously agreed to fund the reconstruction of a sport court on park district property as part of the gymnasium expansion project.

Additionally, the school district has requested a temporary construction easement to the south of the building for constructing staging and construction parking. The limited parking at Edison Middle School, the protracted construction schedule (across two school years), and the fact that park district property lines are situated in a very tight fashion around the school building create limited to no options for construction staging and parking. This easement will affect portions of the park, including one ballfield. Legal counsel was engaged to prepare a Temporary Construction Easement Agreement outlining the terms and specifying the restoration that is expected at the conclusion of the project.

PREVIOUS COMMITTEE/BOARD ACTION:

August 5, 2009 – Approval of Lease Agreement for Kelly Park Improvements
August 12, 2012 – Approval of Contract with Chicagoland Paving for Construction
December 17, 2025 - Approval to terminate Lease Agreement for Kelly Park Improvements

REVENUE OR FUNDING IMPLICATIONS:

CUSD-200 will fund the reconstruction of the areas affected by the easement agreement.

STAKEHOLDER PROCESS:

Coordination with CUSD-200 is ongoing. The Athletic Department and the Baseball Softball Board of Control have been made aware that the field will be unavailable for an extended period beginning this Spring. Alternative plans for ballfield scheduling are being reviewed and include an offer from the school district for use of one of their ballfields during the easement period. The enlarged and rehabilitated gymnasium will positively impact our programming as we are primary users of school facilities beyond the school districts' typical scheduled use.

LEGAL REVIEW:

Legal counsel prepared the Temporary Construction Easement Agreement.

ATTACHMENTS:

Temporary Construction Easement Agreement and exhibits

RECOMMENDATION:

It is recommended that the Wheaton Park District Board of Commissioners approve the Temporary Construction Easement Agreement with CUSD-200.

TEMPORARY CONSTRUCTION EASEMENT AGREEMENT

THIS TEMPORARY CONSTRUCTION EASEMENT AGREEMENT ("Agreement") is made and entered into as of this 18th day of March, 2026 ("Effective Date"), by and between the Board of Education of Community Unit School District 200, an Illinois school District ("School District"), and Wheaton Park District, an Illinois park District and unit of local government ("Park District"). School District and Park District are hereinafter sometimes referred to individually as a "Party," and collectively as the "Parties."

RECITALS

WHEREAS, the Park District is the owner of certain real property located at 1100 S. Main St, Wheaton, IL 60189, commonly referred to as Kelly Park ("Park Property"); and

WHEREAS, the School District is the owner of certain real property located at 1125 South Wheaton Avenue Wheaton, IL 60189, commonly referred to as Edison Middle School ("School Property"), and located adjacent to the Park Property; and

WHEREAS, the School District has plans to construct an addition to Edison Middle School ("Planned Improvements"); and

WHEREAS, the School District requires a temporary construction easement over a portion of the Park Property to facilitate the Planned Improvements, and the Park District is willing to grant such an easement, subject to the terms and conditions set forth in this Agreement; and

WHEREAS, the Park District has the authority to grant such an easement pursuant to Articles 8-1 and 8-11 of the Park District Code of the State of Illinois (70 ILCS 1205/8-1 and 8-11); and

WHEREAS, the Parties desire to formally establish their respective rights and obligations regarding School District's access to and use of certain portions of the Park Property.

NOW, THEREFORE, in consideration of the mutual promises hereinafter set forth, and for other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the Parties agree as follows:

1. Recitals Incorporated. The foregoing recitals are incorporated herein by reference and made a part hereof as though fully set forth in this paragraph 1, the same constituting the factual basis for this Agreement.

2. Grant of Temporary Construction Easement. Subject to the terms and conditions of this Agreement, Park District hereby grants to School District, and any of School District's agents, representatives, employees, contractors, subcontractors, material suppliers, successors or assigns, a temporary construction easement over, on, and across those portions of the Park Property described and depicted in Exhibit A, attached hereto and incorporated herein by reference ("Easement Premises"), solely for the purpose of ingress and egress and to move, stage and store construction and other machinery, apparatus, equipment, vehicles, and personnel and to do such

other activities as School District shall deem necessary or desirable in connection with the Planned Improvements (“Temporary Construction Easement”). Notwithstanding the foregoing, School District shall not install any permanent facilities within the Easement Premises.

3. Term of Temporary Construction Easement. The Temporary Construction Easement granted pursuant to paragraph 2 of this Agreement shall begin on the Effective Date of this Agreement and shall expire April 30, 2027 which is estimated to be the final completion target date of the Planned Improvements on the School Property and approval by the Park District of all restoration work by School District on Park Property or the Easement Premises required by Section 6 of this Agreement.

4. Additional Easement Conditions. In addition to the other terms and conditions set forth in this Agreement, the Temporary Construction Easement, together with any ancillary rights given to School District under this Agreement, shall be subject to the following conditions:

(a) Park District reserves the right of access to and use of the Easement Premises in any manner not inconsistent with the rights granted to School District under this Agreement, including but not limited to the right to install landscaping, gardens, shrubs, driveways, sidewalks, parking lots, and ingress and egress roadways on the Easement Premises that do not then or later conflict with the Temporary Construction Easement or the easement rights granted hereunder.

(b) School District shall notify Park District at least seven (7) days prior to commencement of any access to or use of the Easement Premises. The Parties shall reasonably cooperate with respect to the commencement, timing, and location of such work or activity so as to protect the public at large and to avoid any interference with Park District’s use of the Park Property or the Easement Premises. School District shall also provide Park District with a copy of the construction schedule for the Planned Improvements as the same may be revised from time to time and otherwise give Park District reasonable advance notice of any planned activities on the Easement Premises that may affect Park District's conduct of its normal activities and use of the Park Property.

(c) Any work or activity performed by any entity within the Easement Premises shall be performed in a safe and sound manner and in accordance with all applicable federal, state and local laws, including the ordinances and regulations of the City of Wheaton and the Wheaton Park District and shall be conducted in a manner so as to avoid damage to the Park Property.

(d) The Temporary Construction Easement shall be used and enjoyed solely by School District and its duly authorized agents, representatives, employees, contractors, subcontractors, material suppliers, successors or assigns, and School District shall not assign its easement rights in whole or in part to any other person or entity.

(f) The Park Property, including the Easement Premises, shall at all times be kept free of accumulations of debris, waste and garbage resulting from the Planned Improvements.

(e) No equipment, machinery or materials shall be brought or permitted to come onto or remain on any portion of the Park Property other than the Temporary Construction Easement Premises, and then subject to such reasonable restrictions, if any, as shall be specified by Park District.

(g) Park District shall have the right at any time to:

(i) impose weight and load restrictions on the Easement Premises which Park District reasonably determines are necessary or advisable under the circumstances; and

(ii) suspend the Temporary Construction Easement for safety or health reasons or for breach by School District of any of its obligations under this Agreement, until the reasons for the suspension have been rectified to Park District's reasonable satisfaction and without waiving Park District's right to terminate the Temporary Construction Easement as provided in paragraph 11, below.

(h) Park District shall have the right to enter upon the Easement Premises at any time(s) to inspect, maintain or repair the Park Property including the Easement Premises and improvements thereon, to determine School District's compliance with the terms and conditions of this Agreement, and for any other lawful purpose(s). Park District's reservation of such rights or its failure to exercise same shall not impose or create any responsibility or liability on Park District or affect, reduce or nullify in any way School District's obligations under this Agreement. School District shall cooperate with Park District's reasonable requests to inspect the Easement Premises.

5. Hazardous Materials. No explosives or flammable or hazard materials of any kind shall be transported across, brought upon, or stored or deposited on, the Park Property (except as needed for vehicles or equipment for the Planned Improvements provided that School District and its contractors shall be liable for any damage to or contamination of Park Property resulting from such activity or use). As used in this Agreement, "Hazardous Materials" means any hazardous or toxic substances, materials or wastes, including, but not limited to solid, semi-solid, liquid or gaseous substances which are toxic, ignitable, corrosive, carcinogenic or otherwise dangerous to human, plant or animal health or well-being and those substances, materials, and wastes listed in the United States Department of Transportation Table (49 CFR 972.101) or by the Environmental Protection Agency as hazardous substances (40 CFR Part 302) and amendments thereto or such substances, materials, and wastes regulated under any applicable local, state or federal law including, without limitation, any material, waste or substance which is (i) petroleum, (ii) asbestos, (iii) polychlorinated biphenyls, (iv) designated as "hazardous substances" pursuant to Section 1251 et. seq. (33 U.S.C. Section 1321) or listed pursuant to Section 1004 of the Resource Conservation

and Recovery Act, 42 U.S.C. Section 6901 et. seq. (42 U.S.C. Section 6903), or (vi) defined as a "hazardous substance" pursuant to Section 101 of the Comprehensive Environmental Response, Compensation and Liability Act, 42 U.S.C. Section 9601 et. seq. (42 U.S.C. Section 9601) or any other applicable environmental law.

6. Restoration Obligations.

- (a) **General Restoration Obligations.** Upon termination of the Temporary Construction Easement by expiration or otherwise, or upon completion of any work contemplated by this Agreement, School District at its sole cost and expense shall restore the Easement Premises, and any other affected portion(s) of Park Property, to the same or better condition as existed immediately prior to the commencement of any activity thereon by School District. All restoration, repair and replacement shall be completed to the reasonable satisfaction of the Park District within thirty (30) days after the termination of the Temporary Construction Easement or upon completion of any work contemplated by this Agreement whichever is later, or if due to weather conditions or other circumstances which in Park District's opinion would make any such restoration, repair and replacement inadvisable, then within such later time period as Park District reasonably shall request.

- (b) **Restoration of Ballfield and other assets.** In addition to School District's general restoration obligations set forth above, the Parties acknowledge and agree that School District's use of the Easement Premises will involve damage to certain Park District assets including but not limited to a basketball/sport court, baseball/softball field, backstop, baseline/dugout fencing, player benches, turf, asphalt paths, native planting/pollinator garden area and limestone screened areas located on the Easement Premises. Upon termination of the Temporary Construction Easement by expiration or otherwise, or upon completion of any work contemplated by this Agreement, School District shall be responsible, at its sole cost and expense, to restore the assets, including but not limited to a basketball/sport court, baseball/softball field, backstop, baseline/dugout fencing, player benches, turf, asphalt paths, native planting/pollinator garden area and limestone screened areas in accordance with the plans, specifications, drawings, and other related documents prepared by the Wheaton Park District and attached hereto as Exhibit B and incorporated herein by reference, subject to any changes or modifications agreed to in writing by both Parties. All necessary restoration, repair and replacement contemplated by this subsection 6(b) shall be completed to the reasonable satisfaction of the Park District within 30 days after the termination of the Temporary Construction Easement or upon completion of any work contemplated by this Agreement, or if due to weather conditions or other circumstances which in Park District's opinion would make any such restoration, repair and replacement inadvisable, then within such later time period as Park District reasonably shall request.

7. School District shall conduct its operations on the Park Property entirely at its own risk. To the fullest extent permitted by the laws of the State of Illinois, School District hereby forever waives, relinquishes and discharges and holds harmless Park District, its elected and appointed officials, officers, employees, agents, and volunteers from any and all claims of every nature whatsoever, which School District may have at any time against Park District, its elected and appointed officials, officers, employees, agents, and/or volunteers, including without limitation claims for personal injury or property damage sustained or incurred by School District or any person claiming by, through or under School District, relating directly or indirectly to the Planned Improvements, the construction of the Planned Improvements, access to or use of the Easement Premises, or the exercise of the rights and privileges granted hereunder.

8. School District shall defend, indemnify and hold harmless Park District, its elected and appointed officials, officers, employees, agents, and volunteers against and from any and all liabilities, claims, losses, costs, damages and expenses of every nature whatsoever, including without limitation reasonable attorneys' and paralegal fees, suffered, incurred or sustained by any such indemnified persons, including without limitation liabilities for the death of or injury to any person or the loss, destruction or theft of or damage to any property, relating directly or indirectly to, or arising directly or indirectly from, the exercise by School District, its employees, agents, or contractors, or any other person acting on its or their behalf, or with its or their authority or permission, of the rights and privileges granted School District under this Agreement. School District shall defend, indemnify and hold harmless Park District against and from any and all claims, losses, costs, damages and expenses, including without limitation reasonable attorneys' and paralegal fees, suffered, sustained or incurred by Park District as a result of School District's breach of any provision of this Agreement or otherwise incurred by Park District in enforcing the terms of this Agreement.

Park District shall defend, indemnify and hold harmless School District, its elected and appointed officials, officers, employees, agents, and volunteers against and from any and all liabilities, claims, losses, costs, damages and expenses of every nature whatsoever, including without limitation reasonable attorneys' and paralegal fees, suffered, incurred or sustained by any such indemnified persons, including without limitation liabilities for the death of or injury to any person or the loss, destruction or theft of or damage to any property, relating directly or indirectly to, or arising directly or indirectly from, the exercise by Park District, its employees, agents, or contractors, or any other person acting on its or their behalf, or with its or their authority or permission, of the rights and privileges granted Park District under this Agreement. Park District shall defend, indemnify and hold harmless School District against and from any and all claims, losses, costs, damages and expenses, including without limitation reasonable attorneys' and paralegal fees, suffered, sustained or incurred by School District as a result of Park District's breach of any provision of this Agreement or otherwise incurred by School District in enforcing the terms of this Agreement.

9. Insurance.

(a) School District shall keep in full force and effect at all times during this Agreement commercial general liability insurance, including contractual liability coverage, Workers' Compensation insurance, and such other types of insurance in

such amounts and with such companies or self-insurance pools as are reasonably acceptable to Park District, but, in any event, not less than the coverages and amounts set forth in Exhibit C. The minimum insurance coverage specified in this Paragraph 9 may be provided by self-insurance, participation in a risk management pool, commercial policies of insurance, or a combination thereof. School District shall name the Park District, its elected and appointed officials, officers, employees, agents, and volunteers as an additional insured on any such insurance, and shall provide Park District with a copy of a Certificate of Insurance and Additional Insured Endorsement evidencing same prior to commencing any work or activity on the Park Property, and said insurance shall not be modified, terminated, canceled or not renewed without at least thirty (30) days advanced written notice to the Park District.

(b) In addition to, and in furtherance and not in limitation of, School District's insurance obligations set forth above, and at no cost to Park District, School District shall require any contractor(s) or subcontractor(s) performing any of the work contemplated by this Agreement to obtain and keep in full force and effect for so long as any claim relating to the Planned Improvements legally may be asserted, comprehensive general liability and property damage insurance written to include the coverages and for not less than the minimum limits, or greater if required by law, as provided in Exhibit C attached hereto and incorporated herein by reference, and to otherwise comply with all other requirements set forth therein. School District shall similarly require any contractor(s) or subcontractor(s) performing any of the work contemplated by this Agreement to defend, indemnify and hold harmless Park District in accordance with and as more fully set forth in Subsection D of Exhibit C attached hereto.

10. School District shall not cause or suffer or permit to be created any mechanics' or materialmen's liens or claims against the Park Property. School District shall defend, indemnify and hold harmless Park District from and against any such claims or liens.

11. The Temporary Construction Easement granted to School District hereunder may be terminated as follows:

- (a) immediately upon written notice to School District in the event School District or its contractor(s) shall fail to procure or maintain the insurance required, or shall fail to provide evidence of such insurance coverage as required, under paragraph 9, above.
- (b) immediately upon School District's failure to remedy or obtain remedy by its contractor(s) of any breach of any term or condition of this Agreement (other than paragraph 9 regarding insurance) within five (5) days after written notice of such breach is delivered to School District; or
- (c) immediately upon abandonment of the Planned Improvements by School District or its contractor(s). For the purposes of this subparagraph,

abandonment shall be deemed to have occurred in the event no activity is conducted on the Planned Improvements for a period of sixty (60) consecutive days once the work has commenced, save for force majeure or casualty.

12. No waiver of any rights which Park District has in the event of any default or breach by School District under this Agreement shall be implied from failure by Park District to take any action on account of such breach or default, and no express waiver shall affect any breach or default other than the breach or default specified in the express waiver and then only for the time and to the extent therein stated.

13. Nothing contained in this Agreement shall be construed or deemed to diminish or constitute a waiver or relinquishment of the rights, privileges, defenses and immunities available or afforded to the Park District under the Illinois Local Governmental and Governmental Employee's Tort Immunity Act or under other State statutes affording similar protections.

14. There are no third-party beneficiaries to this Agreement, intended or otherwise, and no claim as a third-party beneficiary under this Agreement may or shall be made, or be valid against, either Party.

15. All notices provided for herein shall be served upon the Parties by personal delivery, email, fax or Certified United States mail, return receipt requested, at the following locations, or at such other location or locations as the Parties may from time to time designate in writing:

Notice to Park District:

Executive Director
Wheaton Park District
102 E. Wesley St.
Wheaton, IL 60187

Notice to School District:

Notices shall be deemed given when received by the Party to whom it was sent.

16. This Agreement contains the entire agreement between the Parties with respect to the use of the Park Property and the Easement Premises by School District in connection with the Planned Improvements and cannot be modified except in a writing, dated subsequent to the date hereof and signed by both Parties.

17. This Agreement may be executed in counterparts, each of which shall be an original, but all of which taken together shall constitute one and the same instrument. In the event any signature is delivered by facsimile or by email delivery of a scanned PDF file, such signature shall create a valid and binding obligation of the Party with the same force and effect as if the facsimile or scanned PDF page were an original thereof.

18. Nothing in this Agreement shall be deemed to create any joint venture or partnership between the Parties. Neither Park District nor School District shall have the power to bind or obligate the other except as to the extent expressly set forth in this Agreement.

19. This Agreement shall be governed and construed in accordance with the laws of the State of Illinois.

20. The School District may terminate this Agreement with 30 days written notice to the Park District.

IN WITNESS WHEREOF, each Party has caused this Agreement to be executed by a duly authorized officer thereof, as of the year and date first above written.

**BOARD OF EDUCATION OF
COMMUNITY UNIT SCHOOL
DISTRICT 200**

WHEATON PARK DISTRICT

By: _____

By: _____

Its: _____

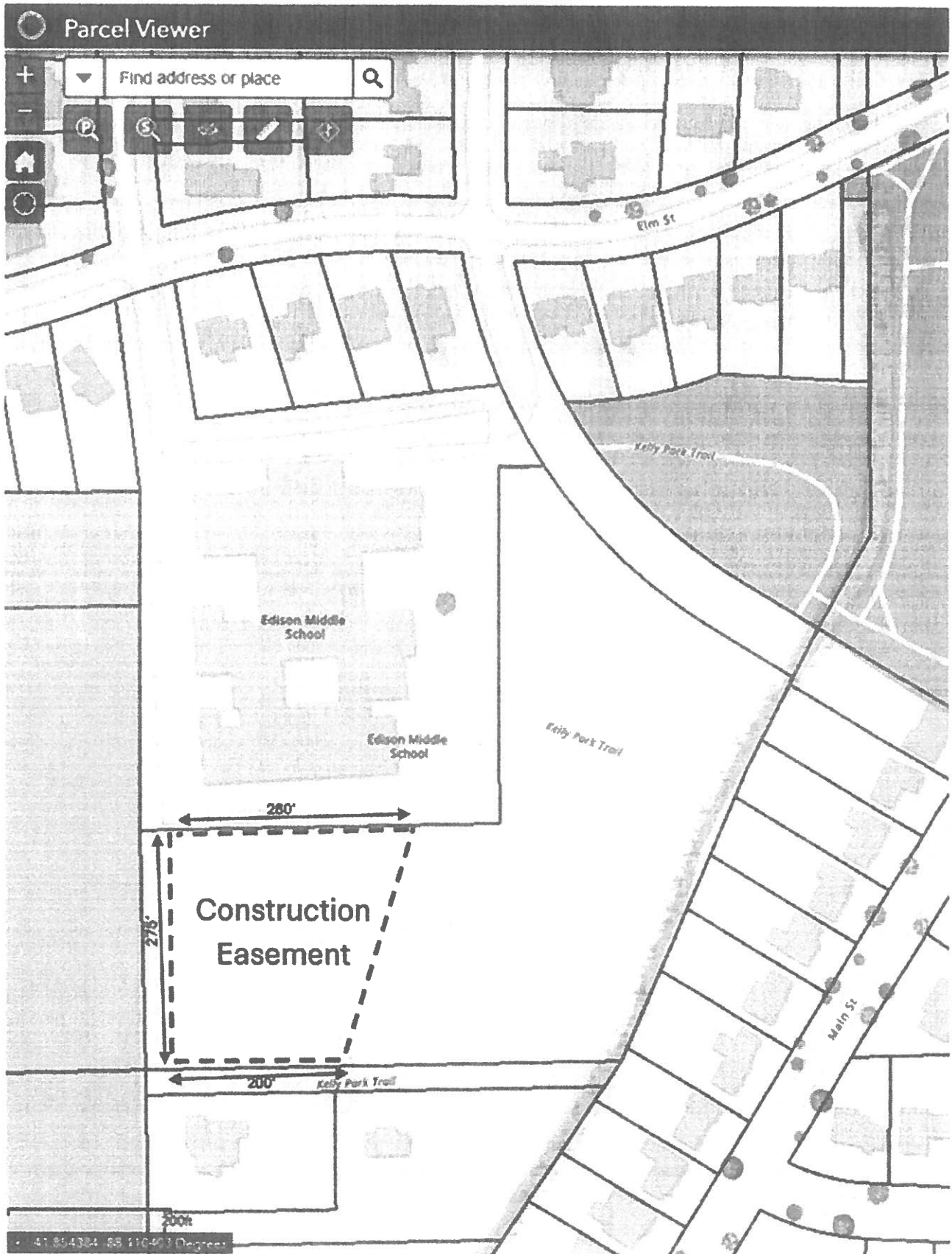
Its: Executive Director

Date: _____

Date: _____

EXHIBIT A

DEPICTION OF PARK PROPERTY AND TEMPORARY CONSTRUCTION EASEMENT PREMISES



NICHOLAS & ASSOCIATES, INC.

1001 Feehanville Drive, Mount Prospect, IL 60056 | Phone 847.394.6200 | Fax 847.394.6205



Project Issuance 2b



CUSD 200 - EDISON MIDDLE SCHOOL - SITE LOGISTICS PLAN - 5/19/25

EXHIBIT B

PLANS AND SPECIFICATIONS FOR RESTORATION OF PARK DISTRICT BALLFIELD

ASPHALT PAVEMENT SPECIFICATIONS

1. MATERIALS – PATHS:

Compacted Gravel Base:
Minimum 6" of compacted CA-6 gravel

Binder Course:
1 1/2" minimum depth. Use N-50 asphalt.

Surface Course:
1 1/2" minimum depth. Use N-50 asphalt.

Total asphalt thickness = 3"

2. Construction Traffic & Protection of Work -

Construction Traffic:

Construction traffic must be confined to a 2' temporary construction easement located beyond existing pavement locations. Due to close proximity of construction traffic to existing facilities, absolutely no construction or vehicular traffic will be allowed outside of construction easement. Any rutting or damage made to the parks or facilities will be repaired by the Contractor, at the Contractor's expense. Contractor employee trucks and vehicles shall not be parked within the park. They shall park in appropriate parking lots or where allowed on the street curbside.

Protection of Work and Pedestrians:

Do not block access to and through the parking lots on site. Maintain access for vehicular and pedestrian traffic through the parking lot and park. Provide warning signs and or barricades in order to protect pedestrians and the work in progress throughout the entire length of the project. While excavating with heavy machinery, extra caution should be used to avoid damage to and to protect all possible manhole covers, structures, paving, shrubs, trees, retaining walls and any other park amenities.

Please note that the parking lots will need to be returned to a condition that allows for public access each evening during these repairs. The Contractor will be responsible to provide any necessary barriers or flagman to minimize conflicts with patrons.

CONSTRUCTION METHODS

Removal and Disposal:

While excavating or grinding with heavy machinery, extra caution should be used to avoid damage to possible manhole covers, drinking fountains, trees, benches, waste receptacles, or any other park amenity. The Contractor shall dispose of all excess spoils, excavated materials, trash, etc. of legally and properly off-site. Excess material not needed for reclaimed base will be removed from site as part of the bid amount.

In cases where the new or reclaimed asphalt is to abut existing pavement, saw-cut a clean edge for the joint between the new and old pavement.

Excavation:

Excavate so that when the stone base is installed, the width of the stone base will spill over the total width noted so as to provide a shoulder on which the binder and surface course can be applied. This will insure that no asphalt edge will sit upon soil or grass. At no time shall any portion of the new asphalt paths be installed upon exposed soil or anything that is not the appropriate compacted stone base.

Grading and Compacting of Gravel:

Gravel base shall be compacted repeatedly by wetting and rolling with a pneumatic-tired roller or a hand tamper to a 95% density. The gravel base surface is to be a smooth, uniform grade so that the surface will drain and not impound water and is to be approved by the Owner prior to any application of surface course. Final grades for all areas included under these specifications shall not vary more than one-tenth 0.1 of a foot from the established grades. The Owner reserves the right to make minor adjustments in lines and grades as the work progresses whenever such changes are considered necessary to better accomplish the true intent of the plans. In establishing the grade, ADA accessibility standards must be maintained while not impeding storm water drainage. Maintain a maximum 5% slope and a maximum 2% cross slope at all times.

The Contractor shall proof roll the base to ensure proper compaction is met. The Contractor shall coordinate with Owner.

Application of Binder Course and Surface Course:

Preparation of materials, mixing formula and transporting mixtures shall conform to IDOT specifications. The surface course shall be compacted to a density of not less than 93% of the maximum possible density. N-50 asphalt shall be used.

The binder and surface course shall be placed only on a base that is dry and shall be placed only when the air temperature in the shade is at least 45 degrees F or above. N-50 asphalt shall be used.

The binder and surface course shall be placed uniformly with a spreading and finishing machine to the grade specified on the plan or established by the Owner. An appropriate rolling pattern shall be established for the binder and surface course to determine the type

of rollers, number of passes and sequence of operations necessary to meet the density requirements as specified herein. The binder and surface course shall be compacted to a density of not less than 93% of the maximum possible density. Methods of compaction shall conform to the requirements to the satisfaction of the Owner. The finished surface shall be true, uniform in texture, free from ruts, depressions, cracks, tears, and checks. In the case of asphalt patching, the patch must be rolled and compacted to match the grade of the surrounding, existing asphalt.

Repair and Clean-up:

All areas disturbed by the Contractor's operations shall be repaired to their original condition. The Contractor shall pay for repair of all damages to existing roadways, sidewalks, curbs, utilities, plant material, turf and site amenities caused by their work.

At the completion of the work under contract, the Contractor shall remove all debris and accumulated materials caused by his work and legally dispose of it off site, and leave the site in a clean and neat order acceptable to the Owner.

WEATHER

The surface course shall be laid only on a base that is dry and shall be placed only when the air temperature in the shade is at least 45 degrees F. or above.

END ASPHALT PAVEMENT SPECIFICATIONS

BASEBALL INFIELD SPECIFICATION

Contractor to provide and install Quickpitch material to 4" uniform depth for proper drainage. The contractor is responsible for hauling and disposing of all excavated materials.

Reference Material

Please refer to the 'DuraEdge & Beacon Athletics Ballfield Design & Dimensions Guide' for measurements, base installation, mound/plate clay fortification, and other information. It is available for free download at <https://beaconathletics.com/ballfield-dimensions-guide/>.

Scope for Infields:

- Excavate infield to depth of four (4) inches. Grade and compact as subbase.¹
- Install and compact Quickpitch to a depth of four (4) inches²
- Install Owner-supplied home plate and pitcher's rubber at 43 feet⁴
- Contractor must preserve base anchors during excavation. Contractor must reinstall base anchors to proper depth and locations for 60 foot bases.³

- Contractor must restore turfgrass in all disturbed areas. Seed and blanket are acceptable; sod is not requested. Owner will water disturbed areas.
- Contractor must provide their own water. Contact City of Wheaton for water meter.
- Public restrooms and/or portable toilets are available at each location.
- Any jock box, or mat systems, found present during excavation must be preserved for reuse.

¹Excavation depth may vary slightly based on each field's existing grades. Some areas of fields may need more or less than 4 inches to ensure proper surface drainage. Excavation plans for each field will be verified onsite between Owner and Contractor to ensure subbase prep matches the desired finished grades for proper surface drainage.

²It is imperative that there are four (4) inches of Quickpitch over the entire infield. At that depth, the Owner will be able to maintain the infield without the concern of mixing Quickpitch into the subbase. For optimal drainage and playability, the materials must remain separate.

³Please refer to the 'Ballfield Design & Dimensions Guide.' Guide available for free download at <https://beaonathletics.com/ballfield-dimensions-guide/>.

⁴Contractor must mark apex of existing home plate with rebar or other method to ensure new home plate is installed in same location. If it is determined that existing home plate locations are incorrect for a square field, then Contractor must notify the Owner to determine next steps.

Field Engineering

Construction layout including grade stakes, all other horizontal alignments, and preservation of control points or temporary benchmarks shall be the responsibility of the Contractor.

Disposal of Excavated Material

All temporary stockpiles shall be removed prior to completion of the Project. All excess excavated material will be required to be disposed of off-site. Disposal of excavated material will not be paid for separately. Any excess Quickpitch must be saved and delivered to offsite location to be determined by Owner.

END BASEBALL INFIELD SPECIFICATION

CHAIN LINK FENCING SPECIFICATIONS

I. FENCE REMOVAL

- A. Contractor shall remove and dispose fence fabric, post and footing completely. It is not acceptable to simply cut posts below grade. Post holes shall be backfilled as necessary unless they will be reused immediately for proposed fencing.

II. VEGETATION REMOVAL

- A. Removal Specifications: Removals will include topping and other operations necessary to safely remove the assigned trees. No trees or trunks are felled onto pavement. Work includes removal of basal sprout and brush and weeds within 3 feet of the trunk. The tree stump will be ground out to a depth of 6 inches below the normal surface level including all surface roots. Immediately after grinding each stump, the grindings must be removed from the work area. Adjacent sidewalks, lawns, streets, and gutters will be cleaned. Backfill consisting of clean, earthen soil should be used to fill the cavity, free of debris, to normal ground level and seeded with an approved seeding mix. Do not backfill with wood chips. All debris disposal must be provided by the contractor at no additional cost to the Owner. The chosen Contractor will be required to follow the ANSI Z-133 Standards for tree worker safety.
- B. Stump Grinding Specifications: For stump grinding not associated with a tree removal, stumps will be ground out to a depth of 6 inches below the normal surface level, including all surface roots. Immediately after grinding each stump, the grindings must be removed from the work area. Adjacent sidewalks, lawns, streets, and gutters will be cleaned. Holes are not to be left open overnight. Backfill consisting of clean earthen soil should be used to fill in the cavity, free of debris, to 4 inches above the existing lawn grade surrounding the stump site (to allow for settling) and seeded with an approved seeding mix. Do not backfill with wood chips.

III. FENCE INSTALLATION

- A. Site Examination
 - i. Ensure property lines and legal boundaries of Work are clearly established.
 - ii. Verify areas to receive fencing are completed to final grade.
- B. Chain Link Framework Installation
 - i. Install chain link fence system in accordance with ASTM F567 and manufacturer's instructions.
 - ii. Locate terminal post at each fence termination and change in horizontal or vertical direction of 30 degree or more.
 - iii. Space line posts uniformly.
 - iv. Concrete set posts: Dig holes in firm, undisturbed or, compacted soil. Holes shall have diameter 4 times greater than outside dimension of post, and depths approximately 6" deeper than post bottom. Excavate deeper as required for adequate support in soft and loose soils, and for posts with heavy lateral loads. Place concrete around posts in a continuous pour. Trowel finish around post and ensure footings are 6" below grade. No footings are to be above grade.

- v. Check each post for vertical and top alignment, and maintain in position during placement and finishing operations.
- vi. Bracing: Install horizontal brace and truss assembly at mid-height or above for fences and over at each fabric connection to the terminal post. The diagonal truss rod is installed at the point where the brace rail is attached to the terminal post and diagonally down to the bottom of the adjacent line post. Place the truss rod in tension by adjusting the turnbuckle.
- vii. Top rail: Install in lengths of 21'. Connect ends with sleeves forming a rigid connection, allow for expansion and contraction.
- viii. Center Rails: Install mid rails between line posts and attach to post using rail end or line rail clamps. A center rail is required for fabric height 10' and over.
- ix. Bottom Rails: Install bottom rails between posts and attach to post using rail end or line rail clamps.
- x. Touch up any nicks or scratches of the PVC color coating with liquid PVC paint.

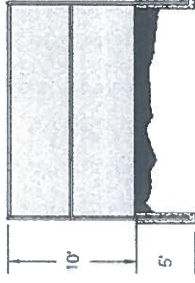
C. Chain Link Fabric Installation

- i. Fabric: Install fabric on security side, pull fabric taut; thread the tension bar through fabric and attach to terminal posts with tension bands spaced maximum of 15" on center and attach so that fabric remains in tension after pulling force is released. Install fabric so that it is 2" +/- 1" above finish grade.
- ii. Secure fabric using wire ties to line posts at 15" (381 mm) on center and to rails and braces 24" on center, and to the tension wire using hog rings 24" on center. Tie wire shall be secured to the fabric by wrapping it two 360 degree turns around the chain link wire pickets. Cut off any excess wire and bend back so as not to protrude so as to avoid injury if a pedestrian may come in contact with the fence.

Notes:

1. Remove & replace backstop & dugout fencing.
2. Remove and replace sideline fence.
3. Remove existing & install NEW 15' players benches. Benches shall be installed 8 inches from the back of the Dugout fence.
4. Contractor shall minimize disturbance. Touch up limestone screening & ball mix as needed.
5. All tops of concrete footings shall be 6 inches below grade.
6. All existing fence posts, bench posts and footings must be left at least 6 inches below grade, if not being removed.
7. FOR FIELD #24 ONLY (on N.E. side of school, closest to parking lot) the Dugout on the East side of the field (along 3rd baseline) shall be 66" wide. This is due to the proximity of a Sanitary Sewer line.
8. All other Dugouts shall be 7' wide.

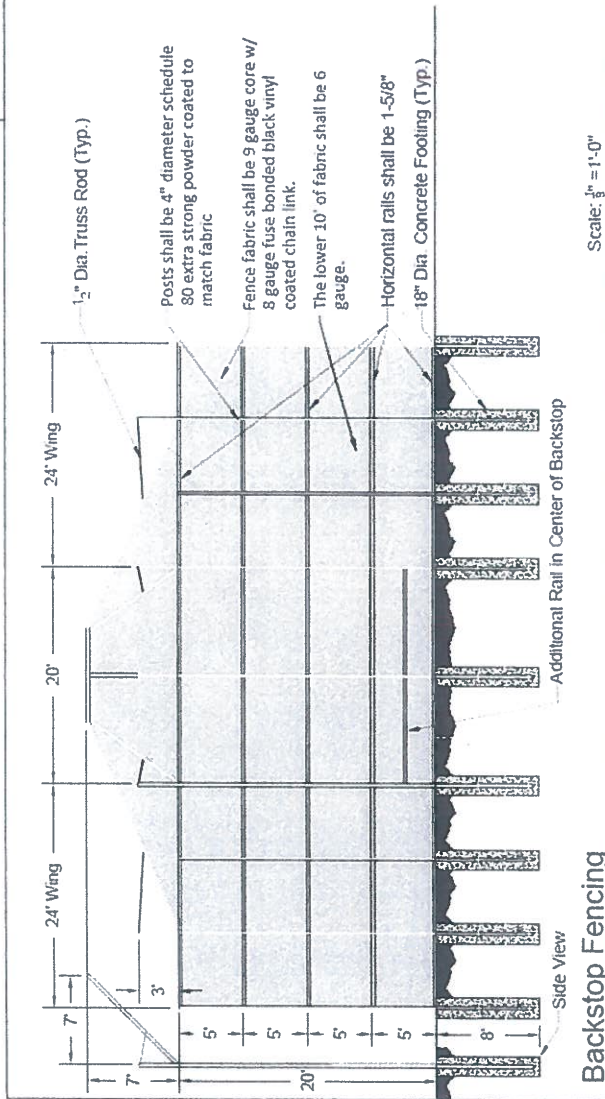
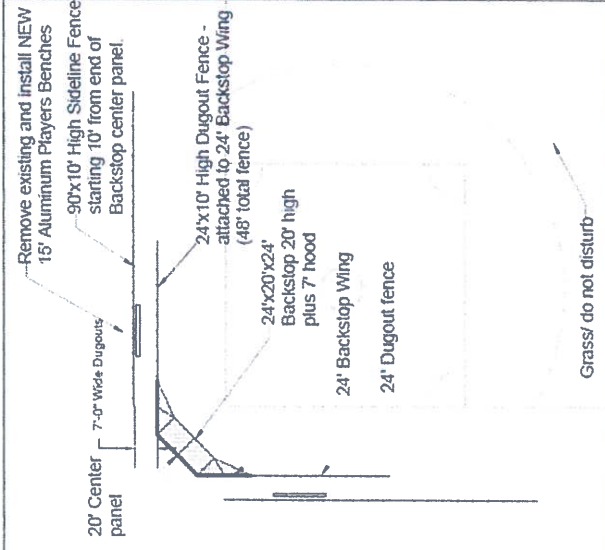
For all Dugout and sideline fences, Line Posts shall be (Schedule 40) 2 1/2" diameter and Terminal Posts shall be (schedule 40) 3" diameter.



Finished Grade Post shall have a min. 10" dia X 60" deep concrete footing. Posts shall be installed 6' apart.

Sideline & Dugout Fence

Scale: 3/8" = 1'-0"



Scale: 3/8" = 1'-0"

Backstop Fencing



drawn by	DN	checked by	DN	revised by	DN
date	8/19/17	date		date	
checked by	DN	checked by	DN	checked by	DN
date		date		date	

**Kelly Park/Edison School
2017 Fencing Projects
Edison School Fields # 22, 23 & 24 Layout & Details**

WHEATON PARK DISTRICT
102 E WESLEY WHEATON IL 60187
(630) 665-4710

2017

TURF RESTORATION SPECIFICATIONS

- Restoration: The areas of work shall be restored with pulverized topsoil 4" – 6" deep and with blanket that is stapled down. Grass seed is to be Barenburg HGT Kentucky Bluegrass. Seed is to be applied at a rate of 2-3 lbs. per 1000 sq. ft. More is to be added if the area is sloped.

END TURF RESTORATION SPECIFICATIONS

COLORCOAT FINISH SPECIFICATIONS

COLORCOAT SCOPE:

This project shall consist of court color coating to create court surfaces that are of uniform texture and that are properly drained without depressions.

This includes: cleaning, leveling of depressions, crack filling applying 2 coats resurfacer, applying 2 coats of basketball court acrylic color, and layout and striping of playing lines.

It is the responsibility of the Contractor to adequately protect his Work from vandalism, weather, and accidental damage until the Work is accepted by the Owner; and to protect park users from harm's way due to the project. The Contractor shall bear the cost of repairing or replacing any damaged Work.

The basketball court areas surrounding the playing area shall have dark green surfaces. The service/playing areas shall be dark blue. Install 2-inch-wide white striping for all basketball court lines.

1. SUBMITTALS

A. Submit filler material product data and specification information provided by the manufacturer.

B. Furnish the manufacturer's material product data and specification information stating the color finish system is especially made for use on basketball courts.

C. Submit 2 sets of color samples to the Owner for color evaluation.

2. QUALITY ASSURANCE

A. Quality assurance personnel will perform intermittent inspections during the filling and color finish system operations.

B. The Contractor is to supply the barrel or tote product and manufacturing production numbers for each barrel or tote of acrylic resurfacer or color product used on this project before any application of products.

C. The first coat of acrylic resurfacer shall have a minimum of 600 lbs. of sand per 50 liquid gallons of acrylic resurfacer (Pre-mixed).

3. ACRYLIC COLOR FINISH SYSTEM AND STRIPING

A. The color finish system and line striping paint shall be a non-glaring acrylic latex emulsion meeting the following requirements:

Basketball Courts:

Background Color - Dark Green (standard color) see illustration

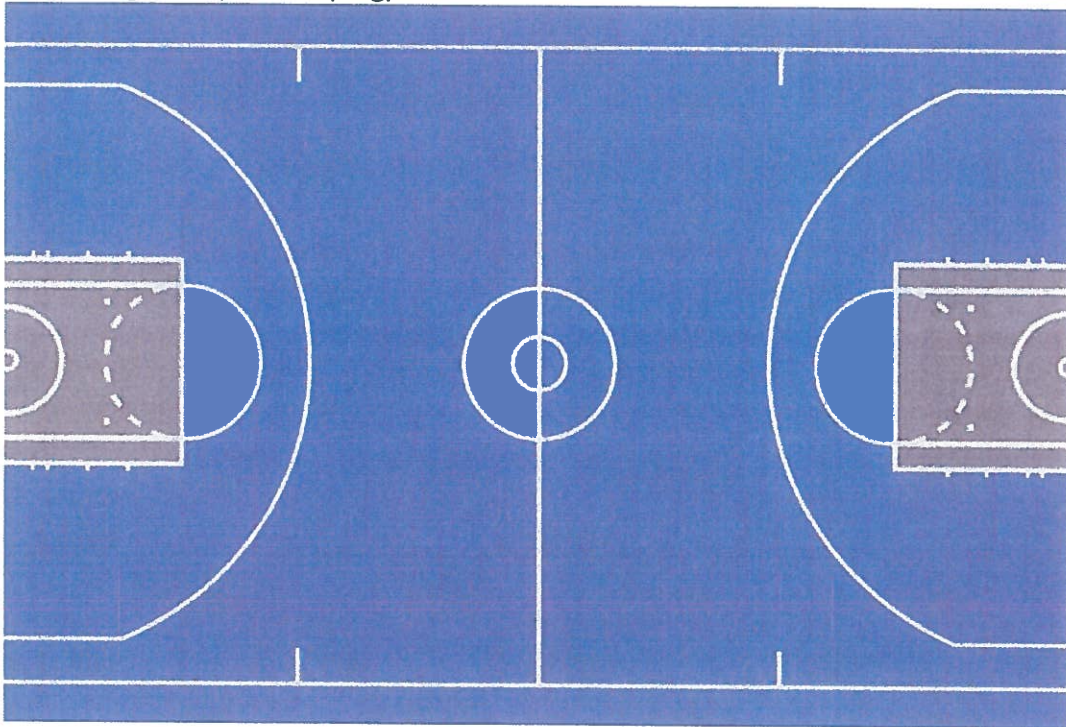
Service/Playing Court Color – Dark Blue (standard color)

Line Striping Color: White (2 inches wide for basketball courts)

Acrylic Latex Emulsion: 25% minimum

Pigment (Color): 40% minimum

Pigment (Line Striping): 40% minimum



B. Application:

1. The following workday after bituminous placement, flood the courts with water. Depressions holding water over 1/8-inch-deep shall be leveled with either a mixture of silica sand and Portland cement, "crack patch binder", or an acrylic emulsion filler. The color coat subcontractor must be present during the flood test.

2. If the leveling of the ponds requires a fine sand bituminous mix, the curing period will not start until the fine sand bituminous mix is in-place.

3. If the leveling of the ponds requires a “crack patch binder” or an acrylic emulsion filler, the leveling shall be performed after the curing period has expired.
4. Provide a minimum of two applications of the acrylic filler material at the consistency and thickness recommended by the manufacturer. Do not apply the material too thick. An application placed too thick may cause blistering and peeling of the color coat system.
5. The filler materials shall be completely cured before applying successive applications. If the materials have not cured properly, they may cause blistering and peeling of the color coat system.
6. Apply the acrylic filler materials during good weather conditions when the air temperature is between 55 degrees F and 90 degrees F and rain is not forecast or imminent.

4. ACRYLIC COLOR FINISH SYSTEM AND STRIPING

A. Surface Preparation:

1. Do not apply the background color system until all the depressed or deficient areas have been corrected.
2. The pavement surface must be completely cleaned of dust, dirt, debris, and all loose materials before the application of the color coat system.

B. Application:

1. Apply the color finish system at a rate of 0.05 gallons per square yard, or as recommended by the manufacturer, with a squeegee to provide a uniform texture, color, and density, free of holidays or voids.
2. Apply a minimum of two applications, more if recommended by the manufacturer. Provide additional applications over the entire surface if the final application is non-uniform. Apply additional coats until a uniform surface is achieved. Do not apply the material too thick. An application placed too thick may cause blistering and peeling of the color coat system.
3. The filler materials shall be completely cured before applying successive applications. If the materials have not cured properly, they may cause blistering and peeling of the color coat system.
4. The basketball court color coat system shall cure a minimum of 48 hours before applying the line striping paint.
5. Apply the color coat system and line striping during good weather conditions when the air temperature is between 55 degrees F and 90 degrees F and rain is not forecast or imminent.
6. Apply the line striping paint according to the U. S. Basketball Association, current regulations and ITF Specifications. Prior to application of marking paint, the surface of the court shall be free of all dust, dirt, debris or foreign matter. Lines shall be masked taped in order to assure razor sharp edges prior to painting. Equipment used for striping and painting will be standard equipment manufactured specifically for the purpose and in top operating condition. White lines shall be located, marked and taped in accordance with the attached striping

plan. Stripe the courts accurately applying two coats of white acrylic line paint using a gravity feed machine to regulation dimensions for singles and doubles play. No spray application or hand painting of lines to be done. Do not apply the line striping paint in windy conditions. Lines that are found to be crooked, wavy or out of line shall be colored out and restriped at no additional cost to the Owner.

SECTION 323650

FLEXIBLE BASKETBALL COURT COLOR FINISH SYSTEM

PART 1 GENERAL

1.01 SUMMARY

- A.** Section Includes:
 - 1. Filler material.
 - 2. Color finish system.

1.02 SUBMITTALS

- A.** Submit filler material product data and specification information provided by the manufacturer.
- B.** Furnish the manufacturer's material product data and specification information stating the color finish system is especially made for use on basketball courts.
- C.** Submit 2 sets of color samples to the Owner for color evaluation.

1.03 QUALITY ASSURANCE

- A.** Quality assurance personnel will perform intermittent inspections during the filling and color finish system operations.
- B.** The contractor is to supply the barrel or tote product and manufacturing production numbers for each barrel or tote of acrylic resurfacer or color product used on this project.

PART 2 PRODUCTS

2.01 ACRYLIC FILLER OVER BITUMINOUS PAVEMENT

- A.** A cold-applied sealer manufactured with mineral fillers, suitable for mixing with graded mineral aggregate, meeting the following requirements.

Color	Black
Acrylic	44%
Pigment	40%

- B. The mineral aggregate shall be a uniformly graded, durable, clean, hard material, or manufactured sand, free of clay lumps and organic matter, meeting the following requirements.

Sieve Size	Percent Passing by Weight
No. 16	100
No. 20	85 - 100
No. 30	15 - 85
No. 40	2 - 15
No. 100	0 - 2

- C. The first coat of acrylic resurfacer shall have a minimum of 500 lbs. of sand per 50 liquid gallons of acrylic resurfacer.

2.02 ACRYLIC COLOR FINISH SYSTEM AND STRIPING

- A. The color finish system and line striping paint shall be a non-glaring acrylic latex emulsion meeting the following requirements.

Background Color	Dark Green (basketball)
Playing Court Color	Dark Blue (basketball)
Line Striping Color	White
Acrylic Latex Emulsion	25% minimum
Pigment (Color)	40% minimum
Pigment (Line Striping)	40% minimum

PART 3 EXECUTION

3.01 ACRYLIC EMULSION FILLER OVER BITUMINOUS PAVEMENT

- A. Surface Preparation:

1. For cracks that are 1/4" wide or wider, rout, sterilize and fill cracks with a mixture of silica sand and Portland cement, "crack patch binder", specifically designed for applications on basketball courts. The filler material shall be level with the adjacent surfaces. The filling of the cracks or low areas and sanding is to be approved by the Owner before any coatings or Crack Repair System is installed. Any installed before approval of the Owner will be removed for inspection and replaced by the contractor at the contractors expense.
2. For cracks that are less than 1/4" wide, seal the cracks with a color pigmented, cold applied elastomeric sealant, specifically designed for applications on basketball courts. The sealer material shall be level with the adjacent surfaces.
3. The pavement surface must be completely cleaned of dust, dirt, debris, and all loose materials by power washing. The power washing shall be performed with a high-pressure power washer capable of providing 6,000 psi for general dirt and debris removal.
4. Basketball courts or pickleball courts that need complete removal of the existing color coat system shall be power washed with a high-pressure power washer capable of removing the existing color coat system without causing any damage to the underlying bituminous or concrete surface.
5. On new bituminous surfaces, allow a minimum cure period of 28 days before the application of filler materials.

6. On existing basketball courts or pickleball courts or old bituminous pavement surfaces, apply a primer before using the filler materials.

B. Application:

1. The following workday after bituminous placement, flood the courts with water. Depressions holding water over 1/8 inch deep shall be leveled with either a mixture of silica sand and Portland cement, "crack patch binder", or an acrylic emulsion filler. The color coat subcontractor must be present during the flood test.
2. If the leveling of the ponds requires a fine sand bituminous mix, the curing period will not start until the fine sand bituminous mix is in-place.
3. If the leveling of the ponds requires a "crack patch binder" or an acrylic emulsion filler, the leveling shall be performed after the curing period has expired.
4. Provide a minimum of two applications of the acrylic filler material at the consistency and thickness recommended by the manufacturer. Do not apply the material too thick. An application placed too thick may cause blistering and peeling of the color coat system.
5. The filler materials shall be completely cured before applying successive applications. If the materials have not cured properly, they may cause blistering and peeling of the color coat system.
6. Apply the acrylic filler materials during good weather conditions when the air temperature is between 55 degrees F and 90 degrees F and rain is not forecast or imminent.

3.02 ACRYLIC COLOR FINISH SYSTEM AND STRIPING

A. Surface Preparation:

1. Do not apply the background color system until all the depressed or deficient areas have been corrected.
2. The pavement surface must be completely cleaned of dust, dirt, debris, and all loose materials before the application of the color coat system.

B. Application:

1. Apply the color finish system at a rate of 0.05 gallons per square yard, or as recommended by the manufacturer, with a squeegee to provide a uniform texture, color, and density, free of holidays or voids.
2. Apply a minimum of two applications, more if recommended by the manufacturer. Provide additional applications over the entire surface if the final application is non-uniform. Apply additional coats until a uniform surface is achieved. Do not apply the material too thick. An application placed too thick may cause blistering and peeling of the color coat system.
3. The filler materials shall be completely cured before applying successive applications. If the materials have not cured properly, they may cause blistering and peeling of the color coat system.
4. The basketball courts color coat system shall cure a minimum of 48 hours before applying the line striping paint.
5. Apply the color coat system and line striping during good weather conditions when the air temperature is between 55 degrees F and 90 degrees F and rain is not forecast or imminent.

6. **Apply the line striping paint according to the U.S. Basketball Association OR USAPA Specifications if pickleball alternate bid is accepted.** Do not apply the line striping paint in windy conditions. Lines that are found to be crooked, wavy or out of line shall be colored out and restriped at no additional cost to the Owner. Lines shall be masked.

C. Acceptable products:

1. The following manufacturers are approved for this project, any other manufacturers need written approval by the Owner before bidding, and are to be equal to or better than:

Acrylic Resurfacer PG and Plexichrome PG by California Products
NuSurf and ColorFlex by Laykold

END COLORCOAT FINISH SPECIFICATIONS

Edison School Pollinator Gardens 2026		
	Larger Bed 2,709 sqft	Smaller Bed 2,029 sqft
Plant Name	# of Plants to be Replaced	# of Plants to be Replaced
1. Asclepias tuberosa 'Butterfly Weed'	9	7
2. Eutrochium maculatum 'Spotted Joe Pye Weed'	9	7
3. Lobelia cardinalis 'Cardinal Flower'	9	7
4. Agastache foeniculum 'Anise Hyssop'	9	7
5. Elymus canadensis 'Canada Wild Rye'	9	7
6. Monarda punctata 'Horse Mint'	9	7
7. Helianthus mollis 'Downy Sunflower'	9	7
8. Heliopsis helianthoides 'False Sunflower'	7	5
9. Ratibida pinnata 'Gray-headed Coneflower'	9	7
10. Coreopsis palmata 'Prairie Coreopsis'	9	7
11. Liatris pycnostachya 'Prairie Blazing Star'	9	7
12. Symphyotrichum laeve 'Smooth Blue Aster'	9	7
13. Symphyotrichum oolentangiense 'Sky Blue Aster'	9	7
14. Oligoneuron rigidum 'Stiff Goldenrod'	9	7
15. Solidago speciosa 'Showy Goldenrod'	6	4
16. Schizachyrium scoparium 'Little Bluestem'	9	7
17. Verbena stricta 'Hoary Vervain'	9	7
18. Penstemon digitalis 'Foxglove Beardtongue'	9	7

19. Dalea purpurea 'Purple Prairie Clover'	15	10
20. Monarda fistulosa 'Wild Bergamot'	9	7
21. Echinacea pallida 'Pale Purple Coneflower'	9	7
22. Bouteloua curtipendula 'Side-Oats Grama'	5	5
23. Amorpha canescens 'Lead Plant'	9	7
24. Andropogon gerardii 'Big Bluestem'	5	5
25. Eryngium yuccifolium 'Rattlesnake Master'	9	7
26. Echinacea purpurea 'Purple Coneflower'	9	7
27. Asclepias syriaca 'Common Milkweed'	9	7
28. Asclepias purpurascens 'Purple Milkweed'	9	7
29. Rudbeckia triloba 'Brown-eyed Susan'	9	7
30. Rudbeckia subtomentosa 'Sweet Black-Eyed Susan'	9	7
31. Zizia aurea 'Golden Alexanders'	7	5
32. Panicum virgatum 'Switch Grass'	9	7
33. Silphium laciniatum 'Compass Plant'	9	7
Total Plants	288	223

EXHIBIT C

INSURANCE REQUIREMENTS

A. Commercial General and Umbrella Liability Insurance

Contractor shall maintain commercial general liability (CGL) and, if necessary, commercial umbrella insurance with a limit of not less than \$3,000,000 each occurrence. The coverage amounts set forth may be met by a combination of underlying and umbrella policies so long as in combination the limits equal or exceed those stated.

CGL insurance shall be written on Insurance Services Office (ISO) occurrence form CG 00 01 10 93, or a substitute form providing equivalent coverage, and shall cover liability arising from premises, operations, independent contractors, products-completed operations, personal injury and advertising injury, and liability assumed under an insured contract (including the tort liability of another assumed in a business contract).

Park District, and its elected and appointed officials, officers, employees, agents, and volunteers shall be included as an insured under the CGL, using ISO additional insured endorsement CG 20 10 or a substitute providing equivalent coverage, and under the commercial umbrella, if any. This insurance shall apply as primary insurance with respect to any other insurance or self-insurance afforded to Park District. Any insurance or self-insurance maintained by Park District shall be excess of the Contractor's insurance and shall not contribute with it.

There shall be no endorsement or modification of the CGL limiting the scope of coverage for liability arising from explosion, collapse, or underground property damage.

B. Workers Compensation Insurance

Contractor shall maintain workers compensation as required by statute and employers liability insurance. The commercial umbrella and/or employers liability limits shall not be less than \$1,000,000 each accident for bodily injury by accident or \$1,000,000 each employee for bodily injury by disease.

C. General Insurance Provisions

1. Evidence of Insurance

Prior to beginning work, Contractor shall furnish Park District with a certificate(s) of insurance and applicable policy endorsement(s), executed by a duly authorized representative of each insurer, showing compliance with the insurance requirements set forth above.

Failure of Park District to demand such certificate, endorsement or other evidence of full compliance with these insurance requirements or failure of Park District to identify a deficiency from evidence that is provided shall not be construed as a waiver of Contractor's obligation to maintain such insurance.

Park District shall have the right, but not the obligation, of prohibiting Contractor or any of Contractor's employees, agents, contractors, or subcontractors from entering the Park Property or the Easement Premises until such certificates or other evidence that insurance has been placed in complete compliance with these requirements is received and approved by Park District.

2. Acceptability of Insurers

For insurance companies which obtain a rating from A.M. Best, that rating should be no less than A- VII using the most recent edition of the A.M. Best's Key Rating Guide. If the Best's rating is less than A- VII or a Best's rating is not obtained, the Park District has the right to reject insurance written by an insurer it deems unacceptable.

3. Cross-Liability Coverage

If Contractor's liability policies do not contain the standard ISO separation of insured's provision, or a substantially similar clause, they shall be endorsed to provide cross-liability coverage.

Contractor hereby represents to and covenants with the Park District that Contractor has and shall maintain (and encumber as necessary) adequate financial resources to cover and protect the Park District and its elected or appointed officials, officers, employees, agents, and volunteers with respect to any claim arising out of the activities to be conducted by or on behalf of Contractor on the Park Property that falls within a deductible or self-insured risk and is thereby not covered by insurance required to be provided under this Agreement.

4. Subcontractors

Contractor shall cause each contractor or subcontractor employed by Contractor to purchase and maintain insurance of the type specified above. When requested by the Park District, Contractor shall furnish copies of certificates of insurance and applicable policy endorsement evidencing coverage for each subcontractor.

D. Indemnification

To the fullest extent permitted by law, the Contractor shall indemnify and hold harmless the Park District and its officers, officials, employees, volunteers and agents from and against all claims, damages, losses and expenses including but not limited to legal fees (attorney's and paralegals' fees and court costs), arising out of or resulting from the performance of the Contractor's work, provided that any such claim, damage, loss or expense (i) is attributable to bodily injury, sickness, disease or death, or injury to or destruction of tangible property, other than the work itself, including the loss of use resulting therefrom and (ii) is caused in whole or in part by any wrongful or negligent act or omission of the Contractor, any Subcontractor, anyone directly or indirectly employed by any of them or anyone for whose acts any of them may be liable. Such obligation shall not be construed to negate, abridge, or otherwise reduce any other right or obligation of indemnity which would otherwise exist as to any party or person described in this Paragraph. Contractor shall similarly protect, indemnify and hold and save harmless the Park District and its

officers, officials, employees, volunteers and agents against and from any and all claims, costs, causes, actions and expenses including but not limited to legal fees, incurred by reason of Contractor's breach of any of its obligations under, or Contractor's default of, any provision of this Agreement or its contract with the School District.

TO: Board of Commissioners
FROM: Margie Wilhelmi, Director of Marketing
THROUGH: Michael Benard, Executive Director
RE: Wheaton Park District Sound & Lighting for 2025 Special Events
DATE: March 18, 2026



SUMMARY

The Wheaton Park District produces several high-quality special events annually that require a sound and light technician as well as sound and light equipment. These events draw 20,000+ guests each summer and include Cream of Wheaton and Concerts at Memorial Park

Requests for proposals were sent to five (5) companies. Proposals were received from two (2) vendors. One additional vendor responded and declined bidding as they were already committed to other events.

Wheaton Park District 2026 Special Event Sound & Lighting RFP Results

Vendor	Cream of Wheaton	Concerts at Memorial Park	Total
Hi Fi Events	\$8,800.00	\$23,600.00	\$32,400.00
UAP Event Services	\$10,750.00	\$24,000.00	\$34,750.00

PREVIOUS COMMITTEE/BOARD ACTION:

In 2023 and 2024, staff used a formal request for proposal process for special events sound and lighting. Expenses in 2025 were under \$30,000.

REVENUE OR FUNDING IMPLICATIONS:

All expenses are included in the Wheaton Park District Special Event Operational Budgets and will be covered by sponsorships, as well as ticket and beverage sales.

ATTACHMENTS:

- Hi Fi Events Proposal
- UAP Event Services Proposal
- Memo from legal counsel concerning exemption from the bidding process.

RECOMMENDATION:

Staff recommend that the Wheaton Park District Board of Commissioners approve the 2026 Special Event Sound & Lighting proposal from Hi-Fi Events in the amount of \$32,400.00.



To: Margie Wilhelmi, Director of Marketing & Events
Sammi Catanzaro, Event Coordinator
Wheaton Park District
855 W. Prairie Avenue
Wheaton, IL 60187

From: Jim Warren/Hi Fi Events, Inc.

Date: 2/3/2026

Subject: 2026 Sound and Lighting Quote

Hi Margie and Sammi,

Included is a detailed proposal for providing sound and lighting services, including setup and takedown, for the following events:

- Cream of Wheaton
- Summer Entertainment Series

Our goal is to help make your event as successful as possible. If you or anyone has any questions, please feel free to contact me.

We look forward to the opportunity to work with you!

A handwritten signature in black ink, appearing to read "Jim Warren", with a long, sweeping underline.

Jim Warren
Hi Fi Events, Inc.
630-673-1485, Cell
jimewarren@aol.com

Event: 2026 Cream of Wheaton

Itemized Equipment Listing

Sound

Sound System

- 4 – EV X-Array Xb, dual 18” sub woofers
- 4 – EV X-Array Xm, dual 15” speaker mid cabinets
- 4 – EV X-Array Xi 10” upper mid with 2” hi horn
- 6 – EV powered wedge monitors
- 1 – EV powered drum wedge monitor with woofer
- Crown, QSC power amplifiers, 22,000 watts
- 1 – Midas M32, 32 channel digital mixing console with onboard effects, gates, comps, eq
- 1 – Whirlwind 32x8 channel snake with MASS connector

Accessories

- Shure, AKG, Sennheiser, Heil, EV, etc. microphones
- Whirlwind and Countryman D.I. boxes
- Assorted mic stands, booms, claws and mounts
- Assorted mic and patch cables
- Assorted snakes, splitter snakes and patch whips
- Assorted a/c cables, adapters and quad boxes
- Power distro (if needed for power tap)
- 20’x10’ Black drape panels

Lighting

Lighting

- 24 - LED stage lights
- 4 – Chauvet moving lights
- 1 – M2456 digital lighting controller
- Truss, Genie towers, stands

Personnel

Three (3) personnel each day: one sound engineer, one lighting engineer and one stagehand

Cost: 2026 Cream of Wheaton

Day of Week	Date	Times	Cost	Comments
Thursday	June 4	4:00-8:30pm	\$2200	
Friday	June 6	4:00-9:30pm	\$2200	
Saturday	June 7	10:00am-9:30pm	\$2200	
Sunday	June 8	12:00-7:00pm	\$2200	
		Total:	\$8800	

Notes: Event will be billed Net 30 terms

Event: 2026 Summer Entertainment Series

Itemized Equipment Listing

Sound

Sound System

- 4 – EV X-Array Xb, dual 18” sub woofers
- 4 – EV X-Array Xm, dual 15” speaker mid cabinets
- 4 – EV X-Array Xi 10” upper mid with 2” hi horn
- 6 – EV powered wedge monitors
- 1 – EV powered drum wedge monitor with woofer
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- Assorted mic and patch cables
- Assorted snakes, splitter snakes and patch whips
- Assorted a/c cables, adapters and quad boxes
- Power distro (if needed for power tap)
- 20'x10' Black drape panels

Lighting

Lighting

- 24 - LED stage lights
- 4 – Chauvet moving lights
- 1 – M2456 digital lighting controller
- Truss and Genie towers

Personnel

Three (3) personnel each day: one sound engineer, one lighting engineer and one stagehand.


Cost: 2026 Summer Concert Series

Day of Week	Date	Time	Cost	Comments
Friday	June 26	5:00-9:30pm	\$2000	Two bands
Saturday	June 27	5:00-9:30pm	\$2000	Two bands
Friday	July 17	5:00-9:30pm	\$2000	Two bands
Saturday	July 18	5:00-8:45pm	\$2000	Two bands
Sunday	July 19	1:00-3:00pm	\$1800	One band
Friday	July 24	5:00-9:30pm	\$2000	Two bands
Saturday	July 25	5:00-9:30pm	\$2000	Two bands
Friday	August 7	5:00-9:30pm	\$2000	Two bands
Saturday	August 8	5:00-9:30pm	\$2000	Two bands
Friday	September 11	5:00-9:30pm	\$2000	Two bands
Saturday	September 12	5:00-9:30pm	\$2000	Two bands
Saturday	October 17	1:00-4:00pm or 5:00-9:30pm (TBD)	\$1800	One band
Total -			\$23,600	

Notes: Events will be billed Net 30 terms monthly.

Below is a breakdown for all the events:

Cream of Wheaton (4 days)	\$8,800
Summer Entertainment Series (12 events)	\$23,600
Total of all events:	\$32,400



Authorized signature

Jim Warren – President
Hi Fi Events, Inc.
625 Woodwind Drive
Plano, IL 60545
630-673-1485, Cell
jimewarren@aol.com
Tax ID# 20-4159027

Authorized signature of Acceptance

Wheaton Park District
855 W. Prairie Avenue
Wheaton, IL 60187

UAP Event Services

QUOTE

10204 Bode Street Ste D
Plainfield, IL 60585
Tom@UAPenterprises.com
630-618-0876
www.UAPEvents.com

Quote Date: 02/03/2026
Event Date: June 4 - June 7, 2026
Customer: Wheaton Park District
Event Type: Cream of Wheaton
Payment due: At Event

Billed to

Wheaton Park District

Ship to (if different)

Memorial Park
225 Kariskoga Ave.
Wheaton, IL 60187

Equipment Item	Daily Rate	Qty	Amount
Front of House PA System - 4 x Dual 15" powered main speakers with horns, 4 x dual 18" powers subs	\$600.00	3.5	\$2,100.00
Monitor System - 6 x powered stage wedges, 1 x powered drum monitor sub	\$200.00	3.5	\$700.00
Lighting Package - 16 x LED stage wash lights, 4 x moving head lights, Lighting controller	\$250.00	3.5	\$875.00
Pre-show tech advance with artists	\$250.00	1	\$250.00
Sound Tech	\$650.00	3.5	\$2,275.00
Stage Manager	\$650.00	3.5	\$2,275.00
Light Tech	\$650.00	3.5	\$2,275.00

Special notes and instructions

Pricing is based off of the following projected event times: Load In: Thurs. 6/4/2026 at 9am Shows: 6/4/26 from 4pm to 8:30pm, 6/5/26 - 4pm - 9:30pm, 6/6/26 - 7am to 9:30pm, 6/7/26, 12pm - 7pm - Load Out: 6/7/26 at 7pm. UAP Event Services to play family friendly background music before performance start, end, and in between artists

SUBTOTAL \$10,750.00
DISCOUNT -\$0.00
(TAX RATE) 0%
TAX \$0.00

TOTAL \$10,750.0

Accepted payment methods: Credit Card, Debit Card, ACH, Zelle, Check
Zelle can be sent to tom@uapenterprises.com - Checks made out to UAP Event Services

10204 Bode Street STE D, Plainfield, IL 60585
Tel: 630-618-0876 | Tom@UAPenterprises.com | www.UAPEvents.com

UAP Event Services

10204 Bode Street Ste D
Plainfield, IL 60585

Tom@UAPenterprises.com

630-618-0876

www.UAPEvents.com

QUOTE

Quote Date: 02/03/2026
Event Date: June 2026 - October 2026
Customer: Wheaton Park District
Event Type: Memorial Park Concert Series
Payment due: Weekly Invoices

Billed to

Wheaton Park District

Ship to (if different)

Memorial Park
225 Kariskoga Ave.
Wheaton, IL 60187

Equipment Item	Daily Rate	Qty	Amount
Front of House PA System - 4 x Dual 15" powered main speakers with horns, 4 x dual 18" powered subs	\$650.00	1	\$650.00
Monitor System - 6 x powered stage wedges, 1 x powered drum monitor sub	\$150.00	1	\$150.00
Lighting Package - 24 x LED stage wash lights, 4 x moving head lights, Lighting controller	\$250.00	1	\$250.00
Pre-show tech advance with artists	\$50.00	1	\$50.00
Sound Tech	\$300.00	1	\$300.00
Stage Manager	\$300.00	1	\$300.00
Light Tech	\$300.00	1	\$300.00

Special notes and instructions

Pricing quoted is PER DATE: Projected event dates for 2026 are: 6/26, 6/27, 7/17, 7/18, 7/19, 7/24, 7/25, 8/7, 8/8, 9/11, 9/12, 10/17. UAP Event Services will also play family friendly background music pre show and during breaks

SUBTOTAL	\$2,000.00
DISCOUNT	-\$0.00
(TAX RATE)	0%
TAX	\$0.00

Accepted payment methods: Credit Card, Debit Card, ACH, Zelle, Check

TOTAL PER EVENT
Number of Events

\$2,000.00

12

Zelle can be sent to tom@uapenterprises.com - Checks made out to UAP Event Services

TOTAL For Full Series

\$24,000.00

WHEATON PARK DISTRICT



Financial Overview

February, 2026

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WPD Summary

Row Labels	Full Year Budget	Sum of CY Month	Sum of LY Month	Month Variance	% Month Variance	Sum of Curr YTD	Sum of LY YTD	YTD Variance	% YTD Variance
4-Revenues	\$46,044,627	\$1,230,734	\$1,782,581	(\$551,847)	-30.96%	\$2,619,247	\$2,706,826	(\$87,579)	-3.24%
5-Expenses	(\$57,296,747)	(\$2,299,481)	(\$1,881,727)	(\$417,754)	-22.20%	(\$3,733,190)	(\$3,631,258)	(\$101,933)	-2.81%
Grand Total	(\$11,252,119)	(\$1,068,747)	(\$99,147)	(\$969,600)	-977.94%	(\$1,113,943)	(\$924,431)	(\$189,512)	-20.50%

Row Labels	Full Year Budget	Sum of CY Month	Sum of LY Month	Month Variance	% Month Variance	Sum of Curr YTD	Sum of LY YTD	YTD Variance	% YTD Variance
10-General									
4-Revenues	\$5,962,863	\$62,870	\$52,109	\$10,761	20.65%	\$123,636	\$113,861	\$9,775	8.59%
5-Expenses	(\$6,917,410)	(\$284,007)	(\$271,269)	(\$12,739)	-4.70%	(\$553,312)	(\$701,138)	\$147,825	21.08%
10-General Total	(\$954,547)	(\$221,137)	(\$219,159)	(\$1,978)	-0.90%	(\$429,676)	(\$587,277)	\$157,600	26.84%
20-Recreation									
4-Revenues	\$14,260,501	\$607,337	\$464,298	\$143,039	30.81%	\$1,065,301	\$955,380	\$109,921	11.51%
5-Expenses	(\$15,275,748)	(\$805,369)	(\$726,961)	(\$78,408)	-10.79%	(\$1,231,669)	(\$1,151,916)	(\$79,754)	-6.92%
20-Recreation Total	(\$1,015,247)	(\$198,032)	(\$262,663)	\$64,631	24.61%	(\$166,368)	(\$196,536)	\$30,167	15.35%
22-Cosley Zoo									
4-Revenues	\$2,234,264	\$37,514	\$26,667	\$10,847	40.67%	\$63,076	\$52,814	\$10,262	19.43%
5-Expenses	(\$2,239,068)	(\$140,459)	(\$157,092)	\$16,633	10.59%	(\$252,794)	(\$262,867)	\$10,073	3.83%
22-Cosley Zoo Total	(\$4,804)	(\$102,945)	(\$130,425)	\$27,480	21.07%	(\$189,718)	(\$210,053)	\$20,335	9.68%
30-Debt Service									
4-Revenues	\$2,994,648	\$5,454	\$3,105	\$2,349	75.66%	\$11,701	\$6,944	\$4,757	68.51%
5-Expenses	(\$3,649,981)	\$0	\$0	\$0	0.00%	\$0	\$0	\$0	0.00%
30-Debt Service Total	(\$655,333)	\$5,454	\$3,105	\$2,349	75.66%	\$11,701	\$6,944	\$4,757	68.51%
40-Capital Projects									
4-Revenues	\$6,565,620	\$86,880	\$709,295	(\$622,415)	-87.75%	\$689,909	\$789,988	(\$100,079)	-12.67%
5-Expenses	(\$12,455,213)	(\$77,005)	(\$30,474)	(\$46,531)	-152.69%	(\$104,008)	(\$196,740)	\$92,732	47.13%
40-Capital Projects Total	(\$5,889,593)	\$9,875	\$678,821	(\$668,946)	-98.55%	\$585,901	\$593,248	(\$7,347)	-1.24%
60-Golf Fund									
4-Revenues	\$10,856,200	\$410,731	\$512,135	(\$101,404)	-19.80%	\$625,608	\$757,752	(\$132,144)	-17.44%
5-Expenses	(\$13,587,745)	(\$502,089)	(\$478,829)	(\$23,261)	-4.86%	(\$876,180)	(\$852,246)	(\$23,934)	-2.81%
60-Golf Fund Total	(\$2,731,545)	(\$91,358)	\$33,306	(\$124,664)	-374.30%	(\$250,572)	(\$94,494)	(\$156,078)	-165.17%
70-Information Technology									
4-Revenues	\$663,094	\$0	\$0	\$0	0.00%	\$0	\$0	\$0	0.00%
5-Expenses	(\$663,294)	(\$107,710)	(\$55,657)	(\$52,053)	-93.52%	(\$135,995)	(\$125,409)	(\$10,586)	-8.44%
70-Information Technology Total	(\$200)	(\$107,710)	(\$55,657)	(\$52,053)	-93.52%	(\$135,995)	(\$125,409)	(\$10,586)	-8.44%
75-Health Insurance									
4-Revenues	\$2,507,438	\$19,948	\$14,971	\$4,977	33.24%	\$40,015	\$30,088	\$9,928	33.00%
5-Expenses	(\$2,508,288)	(\$382,842)	(\$161,446)	(\$221,396)	-137.13%	(\$579,231)	(\$340,942)	(\$238,289)	-69.89%
75-Health Insurance Total	(\$850)	(\$362,893)	(\$146,475)	(\$216,419)	-147.75%	(\$539,215)	(\$310,854)	(\$228,361)	-73.46%
Grand Total	(\$11,252,119)	(\$1,068,747)	(\$99,147)	(\$969,600)	-977.94%	(\$1,113,943)	(\$924,431)	(\$189,512)	-20.50%

AGC Month & YTD Summary

Row Labels	Full Year Budget	Sum of CY Month	Sum of LY Month	Month Variance	% Month Variance	Sum of Curr YTD	Sum of LY YTD	YTD Variance	% YTD Variance
60-Golf Fund									
000-Administration									
4-Revenues	\$157,000	\$98,306	\$171,947	(\$73,641)	-42.83%	\$106,160	\$181,433	(\$75,273)	-41.49%
5-Expenses	(\$4,526,220)	(\$98,564)	(\$90,637)	(\$7,928)	-8.75%	(\$164,860)	(\$170,361)	\$5,501	3.23%
000-Administration Total	(\$4,369,220)	(\$259)	\$81,310	(\$81,569)	-100.32%	(\$58,700)	\$11,072	(\$69,772)	-630.17%
101-Parks Maintenance									
5-Expenses	(\$48,878)	(\$2,449)	(\$2,293)	(\$157)	-6.84%	(\$5,241)	(\$4,706)	(\$535)	-11.37%
101-Parks Maintenance Total	(\$48,878)	(\$2,449)	(\$2,293)	(\$157)	-6.84%	(\$5,241)	(\$4,706)	(\$535)	-11.37%
601-Golf Maintenance									
4-Revenues	\$0	\$0	\$0	\$0	0.00%	\$0	\$0	\$0	0.00%
5-Expenses	(\$1,642,624)	(\$53,958)	(\$47,019)	(\$6,939)	-14.76%	(\$95,301)	(\$85,636)	(\$9,666)	-11.29%
601-Golf Maintenance Total	(\$1,642,624)	(\$53,958)	(\$47,019)	(\$6,939)	-14.76%	(\$95,301)	(\$85,636)	(\$9,666)	-11.29%
611-Pro Shop/Golf Fees									
4-Revenues	\$3,842,000	\$81,779	\$83,715	(\$1,936)	-2.31%	\$102,997	\$92,749	\$10,248	11.05%
5-Expenses	(\$1,485,051)	(\$53,016)	(\$49,034)	(\$3,982)	-8.12%	(\$90,032)	(\$83,206)	(\$6,826)	-8.20%
611-Pro Shop/Golf Fees Total	\$2,356,949	\$28,763	\$34,682	(\$5,919)	-17.07%	\$12,965	\$9,543	\$3,423	35.86%
612-Food and Beverage									
4-Revenues	\$6,837,200	\$230,646	\$250,777	(\$20,131)	-8.03%	\$416,451	\$477,874	(\$61,423)	-12.85%
5-Expenses	(\$5,872,288)	(\$294,090)	(\$289,829)	(\$4,261)	-1.47%	(\$520,720)	(\$508,303)	(\$12,417)	-2.44%
612-Food and Beverage Total	\$964,912	(\$63,444)	(\$39,052)	(\$24,392)	-62.46%	(\$104,268)	(\$30,429)	(\$73,840)	-242.66%
613-Cross Country Skiing									
4-Revenues	\$20,000	\$0	\$5,696	(\$5,696)	-100.00%	\$0	\$5,696	(\$5,696)	-100.00%
5-Expenses	(\$12,683)	(\$11)	(\$17)	\$6	35.88%	(\$27)	(\$35)	\$8	23.60%
613-Cross Country Skiing Total	\$7,318	(\$11)	\$5,679	(\$5,690)	-100.19%	(\$27)	\$5,661	(\$5,688)	-100.47%
60-Golf Fund Total	(\$2,731,545)	(\$91,358)	\$33,306	(\$124,664)	-374.30%	(\$250,572)	(\$94,494)	(\$156,078)	-165.17%
Grand Total	(\$2,731,545)	(\$91,358)	\$33,306	(\$124,664)	-374.30%	(\$250,572)	(\$94,494)	(\$156,078)	-165.17%

Zoo Analysis

Row Labels	Full Year Budget	Sum of CY Month	Sum of LY Month	Month Variance	% Month Variance	Sum of Curr YTD	Sum of LY YTD	YTD Variance	% YTD Variance
Cosley Zoo									
4-Revenues									
41-Taxes	\$1,307,980	\$0	\$0	\$0	0.00%	\$0	\$0	\$0	0.00%
42-Charges for Services	\$667,334	\$16,162	\$10,189	\$5,973	58.63%	\$21,755	\$17,143	\$4,611	26.90%
44-Rentals	\$70,000	\$4,128	\$2,288	\$1,841	80.45%	\$6,102	\$5,888	\$214	3.63%
45-Product Sales	\$1,100	\$165	\$90	\$75	83.33%	\$165	\$90	\$75	83.33%
46-Grants & Donations	\$162,250	\$9,303	\$8,123	\$1,179	14.52%	\$18,515	\$16,349	\$2,165	13.24%
47-Misc. Income	\$600	\$64	\$0	\$64	0.00%	\$64	\$0	\$64	0.00%
48-Interest Income	\$25,000	\$7,692	\$5,977	\$1,715	28.69%	\$16,476	\$13,344	\$3,133	23.48%
49-Transfers In	\$0								
4-Revenues Total	\$2,234,264	\$37,514	\$26,667	\$10,847	40.67%	\$63,076	\$52,814	\$10,262	19.43%
5-Expenses									
51-Salaries & Wages	(\$1,375,013)	(\$98,331)	(\$118,673)	\$20,342	17.14%	(\$201,632)	(\$215,020)	\$13,388	6.23%
52-Contractual Services	(\$482,195)	(\$7,628)	(\$13,079)	\$5,451	41.68%	(\$13,919)	(\$18,762)	\$4,843	25.81%
53-Supplies	(\$224,557)	(\$12,986)	(\$11,555)	(\$1,430)	-12.38%	(\$15,728)	(\$15,300)	(\$428)	-2.80%
54-Other Charges	(\$88,402)	(\$21,515)	(\$13,785)	(\$7,729)	-56.07%	(\$21,515)	(\$13,785)	(\$7,729)	-56.07%
57-Capital	\$0								
59-Transfers Out	(\$68,900)	\$0	\$0	\$0	0.00%	\$0	\$0	\$0	0.00%
5-Expenses Total	(\$2,239,068)	(\$140,459)	(\$157,092)	\$16,633	10.59%	(\$252,794)	(\$262,867)	\$10,073	3.83%
Cosley Zoo Total	(\$4,804)	(\$102,945)	(\$130,425)	\$27,480	21.07%	(\$189,718)	(\$210,053)	\$20,335	9.68%
Foundation									
Concessions									
1-Concession Sales	\$60,000	\$168	\$91	\$77	85.08%	\$205	\$115	\$90	78.48%
2-Concession COGS	(\$20,000)	(\$106)	(\$520)	\$414	79.69%	(\$378)	(\$612)	\$234	38.22%
3-Concession Supplies	(\$2,000)	\$0	\$0	\$0	0.00%	\$0	\$0	\$0	0.00%
Concessions Total	\$38,000	\$62	(\$430)	\$492	114.38%	(\$173)	(\$497)	\$324	65.22%
Gift Shop									
1-Gift Shop Sales	\$180,000	\$7,348	\$2,331	\$5,017	215.22%	\$8,883	\$4,078	\$4,805	117.82%
2-Gift Shop COGS	(\$71,000)	(\$2,802)	(\$2,591)	(\$210)	-8.12%	(\$6,016)	(\$5,805)	(\$210)	-3.62%
Gift Shop Total	\$109,000	\$4,546	(\$260)	\$4,806	1848.62%	\$2,867	(\$1,727)	\$4,595	266.04%
Concession & Gift Shop									
4-Concession & Gift Shop Wages	(\$104,000)	(\$5,023)	(\$4,979)	(\$44)	-0.89%	(\$10,292)	(\$10,849)	\$557	5.13%
Concession & Gift Shop Total	(\$104,000)	(\$5,023)	(\$4,979)	(\$44)	-0.89%	(\$10,292)	(\$10,849)	\$557	5.13%
Foundation Total	\$43,000	(\$414)	(\$5,668)	\$5,254	92.70%	(\$7,597)	(\$13,073)	\$5,475	41.88%
Grand Total	\$38,196	(\$103,360)	(\$136,094)	\$32,734	24.05%	(\$197,316)	(\$223,126)	\$25,810	11.57%

Cash & Investments

Description	Current Month	Prior Month	Current Month, Prior Year
<i>Operating Funds</i>			
10-General	4,212,016	4,400,738	3,982,421
20-Recreation	9,919,300	8,504,973	8,714,785
21-Special Recreation	222,592	220,977	237,633
22-Cosley Zoo	1,127,143	1,212,639	1,450,329
23-Liability	462,081	539,778	324,414
24-Audit	37,629	37,434	24,057
25-FICA	375,427	422,414	347,960
26-IMRF	373,636	412,863	348,319
30-Debt Service	1,121,964	1,125,710	956,011
60-Golf Fund	6,867,813	6,889,216	6,230,973
70-Information Technology	(117,820)	(65,938)	(106,291)
75-Health Insurance	(271,979)	98,094	(32,479)
Total Operating Funds	24,329,802	23,798,898	22,478,134
<i>Capital Funds</i>			
40-Capital Projects	13,882,698	13,879,163	10,611,076
Total Capital Funds	13,882,698	13,879,163	10,611,076
Total District Funds	38,212,500	37,678,060	33,089,210

**Fund Balance Target Analysis
February, 2026**

	General 10	Recreation 20	Cosley 22	Insurance Liability 23	Audit 24	FICA 25	IMRF 26	Debt Service 30	Golf 60
Basis of Measurement:									
Budgeted expenditures less budget capital expenditures	3 to 4 months	> 2 months	3 to 6 month	3 to 6 month	3 to 6 month	3 to 6 month	3 to 6 month	Min. target is \$5K; Max. is budgeted expenditures	2 - 4 months
FY 2026 Budget Basis:									
Budgeted expenditures less budgeted capital expenditures	5,874,560	13,599,748	2,170,168	834,168	43,800	818,658	635,348	1,554,835	9,967,607
FY 2026 Targets									
Target Minimum	1,468,640	2,266,620	542,540	208,540	10,950	204,660	158,840	5,000	1,661,270
Target Maximum	2,937,280	4,533,250	1,085,080	417,080	21,900	409,330	317,670	1,554,835	3,322,540
Fund Balance as of February, 2026									
Fund Balance as of 12/31/2025	4,482,418	6,744,557	1,279,480	520,419	37,734	446,724	389,013		
Net Profit (Loss) YTD thru February, 2026	(429,676)	(166,368)	(189,718)	(58,337)	(105)	(87,652)	(70,635)		
Fund Balance as of February, 2026	4,052,742	6,578,188	1,089,761	462,081	37,629	359,072	318,378		
Cash & Investments 12/31/2025								1,119,462	7,290,462
Cash & Investments February, 2026								1,121,964	6,867,813
Analysis Results	Over Maximum Target by	Over Maximum Target by	Over Maximum Target by	Over Maximum Target by	Over Maximum Target by	Meets Target	Over Maximum Target by	Meets Target	Over Maximum Target by
Variances									
Amount over maximum or (under minimum)	1,115,462	2,044,938	4,681	45,001	15,729	-	708	-	3,545,273

All Funds

Investment Report

Description	Current Balance	Prior Month Balance	Prior Year Balance
1110-Certificates of Deposit			
10-General	1,099,868	688,050	479,486
20-Recreation	757,445	345,627	865,250
21-Special Recreation	162,846	162,846	0
22-Cosley Zoo	205,556	205,556	115,250
23-Liability	0	0	0
24-Audit	8,959	8,959	0
25-FICA	299,467	299,467	0
26-IMRF	167,352	392,552	0
30-Debt Service	0	0	250,000
40-Capital Projects	2,308,621	1,193,174	1,609,952
60-Golf Fund	1,477,719	587,410	730,500
75-Health Insurance	0	0	0
Total Certificates of Deposit	6,487,834	3,883,643	4,050,438
1120-Treasuries			
10-General	1,053,666	1,413,666	2,109,875
20-Recreation	1,302,966	1,662,966	2,363,377
21-Special Recreation	0	0	0
22-Cosley Zoo	0	0	0
23-Liability	0	0	0
24-Audit	0	0	0
25-FICA	0	0	0
26-IMRF	0	0	0
30-Debt Service	0	0	0
40-Capital Projects	2,136,335	2,942,741	4,485,133
60-Golf Fund	1,850,447	2,656,853	2,588,538
75-Health Insurance	0	0	0
Total Treasuries	6,343,413	8,676,225	11,546,923
1122-Agencies			
10-General	0	0	0
20-Recreation	0	0	0
23-Liability	0	0	0
24-Audit	0	0	0
30-Debt Service	0	0	0
40-Capital Projects	0	0	0
60-Golf Fund	0	0	0
Total Agencies	0	0	0
Total Investments	12,831,246	12,559,868	15,597,361

General Fund Balance Sheet

Description	Current Balance	Prior Month Balance	Prior Year Balance
Assets			
10-Cash & Cash Equivalents	2,058,483	2,299,022	1,393,061
11-Investments	2,153,533	2,101,716	2,589,361
12-Receivables	5,338,327	5,334,739	5,145,332
13-Interfund Receivables	0	0	0
14-Inventory	5,198	5,288	5,242
16-Prepaid/Deposits/Escrows	0	10,699	0
Total Assets	9,555,541	9,751,464	9,132,995
Liabilities			
20-ST Payables	(1,508)	(3,661)	(2,925)
21-Payroll Payables	(68,141)	(74,225)	(62,692)
22-Accruals	(94,273)	(94,273)	(81,697)
23-Interfund Payables	0	0	0
24-Unearned Revenues	(5,330,847)	(5,297,145)	(5,173,009)
25-Deposits/Uncashed/Stale Dated	(8,030)	(8,280)	(4,558)
29-Deferred Inflows	0	0	0
Total Liabilities	(5,502,799)	(5,477,585)	(5,324,881)
30-Fund Balance	(4,052,742)	(4,273,879)	(3,808,115)
Liabilities and Fund Balance	(9,555,541)	(9,751,464)	(9,132,995)

Recreation Fund

Balance Sheet

Description	Current Balance	Prior Month Balance	Prior Year Balance
Assets			
10-Cash & Cash Equivalents	7,858,889	6,496,379	5,486,158
11-Investments	2,060,411	2,008,593	3,228,627
12-Receivables	5,796,737	5,736,008	5,708,435
13-Interfund Receivables	0	0	0
14-Inventory	0	0	0
16-Prepaid/Deposits/Escrows	0	90,564	(190)
Total Assets	15,716,037	14,331,545	14,423,030
Liabilities			
20-ST Payables	(471,461)	(477,244)	(457,378)
22-Accruals	(114,340)	(114,340)	(98,216)
24-Unearned Revenues	(8,548,073)	(6,962,115)	(8,271,021)
25-Deposits/Uncashed/Stale Dated	(3,975)	(1,625)	(24,601)
Total Liabilities	(9,137,849)	(7,555,324)	(8,851,216)
30-Fund Balance	(6,578,188)	(6,776,221)	(5,571,814)
Liabilities and Fund Balance	(15,716,037)	(14,331,545)	(14,423,030)

Zoo Fund

Balance Sheet

Description	Current Balance	Prior Month Balance	Prior Year Balance
Assets			
10-Cash & Cash Equivalents	921,586	1,007,082	1,335,079
11-Investments	205,556	205,556	115,250
12-Receivables	1,333,047	1,323,382	1,282,632
13-Interfund Receivables	0	0	0
14-Inventory	0	0	0
16-Prepaid/Deposits/Escrows	0	15,151	0
Total Assets	2,460,190	2,551,172	2,732,961
Liabilities			
20-ST Payables	0	0	(461)
22-Accruals	(38,930)	(38,930)	(31,181)
24-Unearned Revenues	(1,331,499)	(1,319,536)	(1,301,288)
Total Liabilities	(1,370,429)	(1,358,466)	(1,332,929)
30-Fund Balance	(1,089,761)	(1,192,706)	(1,400,032)
Liabilities and Fund Balance	(2,460,190)	(2,551,172)	(2,732,961)

Debt Service Fund
Balance Sheet

Description	Current Balance	Prior Month Balance	Prior Year Balance
Assets			
10-Cash & Cash Equivalents	1,121,964	1,125,710	706,011
11-Investments	0	0	250,000
12-Receivables	2,924,323	2,924,323	2,860,659
13-Interfund Receivables	0	0	0
14-Inventory	0	0	0
15-Other Receivables	0	0	0
16-Prepaid/Deposits/Escrows	0	0	0
17-Other Assets	0	0	0
19-Capital Assets	0	0	0
Total Assets	4,046,287	4,050,033	3,816,670
Liabilities			
20-ST Payables	(2,235,117)	(2,244,317)	(2,142,397)
21-Payroll Payables	0	0	0
22-Accruals	0	0	0
23-Interfund Payables	0	0	0
24-Unearned Revenues	(2,924,323)	(2,924,323)	(2,841,909)
25-Escheats and Facility Deposits	0	0	0
26-Long Term-Debt	0	0	0
27-LT Vacation Accruals	0	0	0
Total Liabilities	(5,159,440)	(5,168,640)	(4,984,306)
30-Fund Balance	1,113,153	1,118,608	1,167,636
Liabilities and Fund Balance	(4,046,287)	(4,050,033)	(3,816,670)

Capital Projects Fund

Balance Sheet

Description	Current Balance	Prior Month Balance	Prior Year Balance
Assets			
10-Cash & Cash Equivalents	9,437,742	9,743,248	4,515,991
11-Investments	4,444,956	4,135,915	6,095,085
12-Receivables	1,857,738	1,857,738	2,230,930
13-Interfund Receivables	0	0	0
14-Inventory	0	0	0
15-Other Receivables	0	0	0
16-Prepaid/Deposits/Escrows	0	0	0
17-Other Assets	0	0	0
19-Capital Assets	0	0	0
Total Assets	15,740,436	15,736,901	12,842,006
Liabilities			
20-ST Payables	(51,887)	(58,227)	(112,765)
21-Payroll Payables	0	0	0
22-Accruals	(6,871)	(6,871)	(5,262)
23-Interfund Payables	0	0	0
24-Unearned Revenues	0	0	0
25-Escheats and Facility Deposits	0	0	0
26-Long Term-Debt	0	0	0
27-LT Vacation Accruals	0	0	0
Total Liabilities	(58,758)	(65,098)	(118,026)
30-Fund Balance	(15,681,678)	(15,671,803)	(12,723,980)
Liabilities and Fund Balance	(15,740,436)	(15,736,901)	(12,842,006)

Arrowhead Golf Club Fund

Balance Sheet

Description	Current Balance	Prior Month Balance	Prior Year Balance
Assets			
10-Cash & Cash Equivalents	3,539,647	3,644,953	2,911,936
11-Investments	3,328,165	3,244,263	3,319,038
12-Receivables	48,006	17,819	236,685
13-Interfund Receivables	0	0	0
14-Inventory	104,304	103,784	94,667
15-Other Receivables	24,000	24,000	24,000
16-Prepaid/Deposits/Escrows	10,488	20,924	13,604
17-Other Assets	68,061	68,061	68,883
19-Capital Assets	16,756,290	16,756,290	16,939,503
Total Assets	23,878,962	23,880,095	23,608,315
Liabilities			
20-ST Payables	(23,551)	(28,081)	(21,937)
21-Payroll Payables	0	0	0
22-Accruals	(256,297)	(256,297)	(231,314)
23-Interfund Payables	0	0	0
24-Unearned Revenues	0	0	0
25-Deposits/Uncashed/Stale Dated	(320,870)	(226,114)	(389,645)
26-Long-Term Debt	0	0	0
27-LT Vacation Accruals	(142,670)	(142,670)	(132,848)
29-Deferred Inflows	(261,971)	(261,971)	(236,224)
Total Liabilities	(1,005,357)	(915,132)	(1,011,968)
30-Fund Balance	(22,873,605)	(22,964,963)	(22,596,347)
Liabilities and Fund Balance	(23,878,962)	(23,880,095)	(23,608,315)

Information Technology

Balance Sheet

Description	Current Balance	Prior Month Balance	Prior Year Balance
Assets			
10-Cash & Cash Equivalents	(117,820)	(65,938)	(106,291)
11-Investments	0	0	0
12-Receivables	0	0	0
13-Interfund Receivables	0	0	0
14-Inventory	0	0	0
15-Other Receivables	0	0	0
16-Prepaid/Deposits/Escrows	943	56,771	0
17-Other Assets	0	0	0
19-Capital Assets	0	0	0
Total Assets	(116,877)	(9,167)	(106,291)
Liabilities			
20-ST Payables	0	0	0
21-Payroll Payables	0	0	0
22-Accruals	0	0	0
23-Interfund Payables	0	0	0
24-Unearned Revenues	0	0	0
25-Escheats and Facility Deposits	0	0	0
26-Long Term-Debt	0	0	0
27-LT Vacation Accruals	0	0	0
Total Liabilities	0	0	0
30-Fund Balance	116,877	9,167	106,291
Liabilities and Fund Balance	116,877	9,167	106,291

Health Insurance Fund

Balance Sheet

Description	Current Balance	Prior Month Balance	Prior Year Balance
Assets			
10-Cash & Cash Equivalents	(271,979)	98,094	(32,479)
11-Investments	0	0	0
12-Receivables	5,604	2,956	1,996
13-Interfund Receivables	0	0	0
14-Inventory	0	0	0
15-Other Receivables	0	0	0
16-Prepaid/Deposits/Escrows	0	0	0
17-Other Assets	0	0	0
19-Capital Assets	0	0	0
Total Assets	(266,375)	101,050	(30,483)
Liabilities			
20-ST Payables	(0)	(0)	(0)
21-Payroll Payables	4,497	(34)	(3,020)
22-Accruals	0	0	0
23-Interfund Payables	0	0	0
24-Unearned Revenues	0	0	0
25-Escheats and Facility Deposits	0	0	0
26-Long Term-Debt	0	0	0
27-LT Vacation Accruals	0	0	0
Total Liabilities	4,497	(34)	(3,020)
30-Fund Balance	261,877	(101,016)	33,504
Liabilities and Fund Balance	266,375	(101,050)	30,483

Operating Statements for the Major and Internal Service Funds

Row Labels	Full Year Budget	Sum of CY Month	Sum of LY Month	Month Variance	% Month Variance	Sum of Curr YTD	Sum of LY YTD	YTD Variance	% YTD Variance
10-General									
4-Revenues									
41-Taxes	\$5,266,116	\$0	\$0	\$0	0.00%	\$0	\$0	\$0	0.00%
42-Charges for Services	\$323,497	\$3,913	\$2,735	\$1,178	43.08%	\$8,819	\$5,209	\$3,610	69.31%
43-Debt Proceeds	\$0								
44-Rentals	\$19,805	\$1,789	\$21,765	(\$19,976)	-91.78%	\$3,512	\$23,534	(\$20,022)	-85.08%
45-Product Sales	\$55,200	\$164	\$96	\$68	70.78%	\$301	\$436	(\$135)	-31.02%
46-Grants & Donations	\$189,745	\$715	\$3,601	(\$2,886)	-80.14%	\$48,064	\$46,014	\$2,049	4.45%
47-Misc. Income	\$8,500	\$22,341	\$8,439	\$13,903	164.74%	\$22,389	\$11,792	\$10,597	89.87%
48-Interest Income	\$100,000	\$33,947	\$15,473	\$18,474	119.39%	\$40,552	\$26,875	\$13,676	50.89%
49-Transfers In	\$0								
4-Revenues Total	\$5,962,863	\$62,870	\$52,109	\$10,761	20.65%	\$123,636	\$113,861	\$9,775	8.59%
5-Expenses									
51-Salaries & Wages	(\$3,227,564)	(\$221,433)	(\$207,027)	(\$14,407)	-6.96%	(\$468,357)	(\$444,075)	(\$24,282)	-5.47%
52-Contractual Services	(\$1,846,999)	(\$25,156)	(\$20,063)	(\$5,093)	-25.38%	(\$39,796)	(\$32,788)	(\$7,008)	-21.37%
53-Supplies	(\$558,287)	(\$18,625)	(\$21,563)	\$2,937	13.62%	(\$21,388)	(\$22,315)	\$928	4.16%
54-Other Charges	(\$241,710)	(\$18,793)	(\$22,616)	\$3,823	16.91%	(\$23,771)	(\$28,565)	\$4,793	16.78%
57-Capital	(\$670,000)	\$0	\$0	\$0	0.00%	\$0	(\$173,394)	\$173,394	100.00%
59-Transfers Out	(\$372,850)	\$0	\$0	\$0	0.00%	\$0	\$0	\$0	0.00%
5-Expenses Total	(\$6,917,410)	(\$284,007)	(\$271,269)	(\$12,739)	-4.70%	(\$553,312)	(\$701,138)	\$147,825	21.08%
10-General Total	(\$954,547)	(\$221,137)	(\$219,159)	(\$1,978)	-0.90%	(\$429,676)	(\$587,277)	\$157,600	26.84%
20-Recreation									
4-Revenues									
41-Taxes	\$5,216,865	\$0	\$0	\$0	0.00%	\$0	\$0	\$0	0.00%
42-Charges for Services	\$8,573,036	\$509,436	\$425,511	\$83,925	19.72%	\$943,439	\$880,803	\$62,636	7.11%
44-Rentals	\$136,361	\$26,885	\$6,754	\$20,131	298.06%	\$32,967	\$16,051	\$16,916	105.39%
45-Product Sales	\$194,139	\$4,280	\$3,062	\$1,218	39.79%	\$5,616	\$3,319	\$2,298	69.22%
46-Grants & Donations	\$16,100	\$4,164	\$170	\$3,994	2349.57%	\$4,175	\$4,222	(\$48)	-1.13%
47-Misc. Income	\$24,000	\$3,334	\$275	\$3,059	1112.19%	\$3,554	\$430	\$3,124	726.40%
48-Interest Income	\$100,000	\$59,238	\$28,526	\$30,712	107.66%	\$75,550	\$50,555	\$24,995	49.44%
49-Transfers In	\$0								
4-Revenues Total	\$14,260,501	\$607,337	\$464,298	\$143,039	30.81%	\$1,065,301	\$955,380	\$109,921	11.51%
5-Expenses									
51-Salaries & Wages	(\$5,980,636)	(\$318,806)	(\$314,324)	(\$4,482)	-1.43%	(\$643,450)	(\$631,979)	(\$11,471)	-1.82%
52-Contractual Services	(\$5,537,666)	(\$389,901)	(\$304,656)	(\$85,245)	-27.98%	(\$476,279)	(\$387,494)	(\$88,785)	-22.91%
53-Supplies	(\$1,690,195)	(\$68,589)	(\$76,032)	\$7,443	9.79%	(\$78,798)	(\$94,548)	\$15,750	16.66%
54-Other Charges	(\$391,250)	(\$28,074)	(\$31,949)	\$3,875	12.13%	(\$33,142)	(\$37,895)	\$4,753	12.54%
57-Capital	(\$46,000)								
59-Transfers Out	(\$1,630,000)	\$0	\$0	\$0	0.00%	\$0	\$0	\$0	0.00%
5-Expenses Total	(\$15,275,748)	(\$805,369)	(\$726,961)	(\$78,408)	-10.79%	(\$1,231,669)	(\$1,151,916)	(\$79,754)	-6.92%
20-Recreation Total	(\$1,015,247)	(\$198,032)	(\$262,663)	\$64,631	24.61%	(\$166,368)	(\$196,536)	\$30,167	15.35%
22-Cosley Zoo									
4-Revenues									
41-Taxes	\$1,307,980	\$0	\$0	\$0	0.00%	\$0	\$0	\$0	0.00%
42-Charges for Services	\$667,334	\$16,162	\$10,189	\$5,973	58.63%	\$21,755	\$17,143	\$4,611	26.90%
44-Rentals	\$70,000	\$4,128	\$2,288	\$1,841	80.45%	\$6,102	\$5,888	\$214	3.63%
45-Product Sales	\$1,100	\$165	\$90	\$75	83.33%	\$165	\$90	\$75	83.33%
46-Grants & Donations	\$162,250	\$9,303	\$8,123	\$1,179	14.52%	\$18,515	\$16,349	\$2,165	13.24%
47-Misc. Income	\$600	\$64	\$0	\$64	0.00%	\$64	\$0	\$64	0.00%
48-Interest Income	\$25,000	\$7,692	\$5,977	\$1,715	28.69%	\$16,476	\$13,344	\$3,133	23.48%
49-Transfers In	\$0								
4-Revenues Total	\$2,234,264	\$37,514	\$26,667	\$10,847	40.67%	\$63,076	\$52,814	\$10,262	19.43%
5-Expenses									
51-Salaries & Wages	(\$1,375,013)	(\$98,331)	(\$118,673)	\$20,342	17.14%	(\$201,632)	(\$215,020)	\$13,388	6.23%
52-Contractual Services	(\$482,195)	(\$7,628)	(\$13,079)	\$5,451	41.68%	(\$13,919)	(\$18,762)	\$4,843	25.81%
53-Supplies	(\$224,557)	(\$12,986)	(\$11,555)	(\$1,430)	-12.38%	(\$15,728)	(\$15,300)	(\$428)	-2.80%
54-Other Charges	(\$88,402)	(\$21,515)	(\$13,785)	(\$7,729)	-56.07%	(\$21,515)	(\$13,785)	(\$7,729)	-56.07%
57-Capital	\$0								
59-Transfers Out	(\$68,900)	\$0	\$0	\$0	0.00%	\$0	\$0	\$0	0.00%

Operating Statements for the Major and Internal Service Funds

Row Labels	Full Year Budget	Sum of CY Month	Sum of LY Month	Month Variance	% Month Variance	Sum of Curr YTD	Sum of LY YTD	YTD Variance	% YTD Variance
5-Expenses Total	(\$2,239,068)	(\$140,459)	(\$157,092)	\$16,633	10.59%	(\$252,794)	(\$262,867)	\$10,073	3.83%
22-Cosley Zoo Total	(\$4,804)	(\$102,945)	(\$130,425)	\$27,480	21.07%	(\$189,718)	(\$210,053)	\$20,335	9.68%
30-Debt Service									
4-Revenues									
41-Taxes	\$2,924,323	\$0	\$0	\$0	0.00%	\$0	\$0	\$0	0.00%
43-Debt Proceeds	\$0								
46-Grants & Donations	\$0								
47-Misc. Income	\$0								
48-Interest Income	\$10,000	\$5,454	\$3,105	\$2,349	75.66%	\$11,701	\$6,944	\$4,757	68.51%
49-Transfers In	\$60,325	\$0	\$0	\$0	0.00%	\$0	\$0	\$0	0.00%
4-Revenues Total	\$2,994,648	\$5,454	\$3,105	\$2,349	75.66%	\$11,701	\$6,944	\$4,757	68.51%
5-Expenses									
52-Contractual Services	(\$1,554,835)	\$0	\$0	\$0	0.00%	\$0	\$0	\$0	0.00%
54-Other Charges	\$0								
57-Capital	\$0								
59-Transfers Out	(\$2,095,146)	\$0	\$0	\$0	0.00%	\$0	\$0	\$0	0.00%
5-Expenses Total	(\$3,649,981)	\$0	\$0	\$0	0.00%	\$0	\$0	\$0	0.00%
30-Debt Service Total	(\$655,333)	\$5,454	\$3,105	\$2,349	75.66%	\$11,701	\$6,944	\$4,757	68.51%
40-Capital Projects									
4-Revenues									
41-Taxes	\$0								
42-Charges for Services	\$0								
43-Debt Proceeds	\$0								
44-Rentals	\$32,024	\$0	\$0	\$0	0.00%	\$0	\$0	\$0	0.00%
45-Product Sales	\$25,000	\$7,500	\$1,000	\$6,500	650.00%	\$10,000	\$4,000	\$6,000	150.00%
46-Grants & Donations	\$2,111,200	\$0	\$410,000	(\$410,000)	-100.00%	\$300,000	\$475,000	(\$175,000)	-36.84%
47-Misc. Income	\$2,500	\$127	\$0	\$127	0.00%	\$281,064	\$0	\$281,064	0.00%
48-Interest Income	\$150,000	\$79,253	\$298,295	(\$219,042)	-73.43%	\$98,845	\$310,988	(\$212,142)	-68.22%
49-Transfers In	\$4,244,896	\$0	\$0	\$0	0.00%	\$0	\$0	\$0	0.00%
4-Revenues Total	\$6,565,620	\$86,880	\$709,295	(\$622,415)	-87.75%	\$689,909	\$789,988	(\$100,079)	-12.67%
5-Expenses									
51-Salaries & Wages	(\$266,731)	(\$18,103)	(\$16,554)	(\$1,548)	-9.35%	(\$39,269)	(\$35,208)	(\$4,061)	-11.53%
52-Contractual Services	(\$185,626)	(\$34)	(\$2,439)	\$2,405	98.61%	(\$837)	(\$141,660)	\$140,824	99.41%
53-Supplies	(\$356,644)	(\$10,915)	(\$5,655)	(\$5,259)	-93.00%	(\$11,413)	(\$12,230)	\$817	6.68%
54-Other Charges	(\$13,300)	(\$1,104)	(\$971)	(\$133)	-13.71%	(\$1,396)	(\$1,120)	(\$276)	-24.61%
57-Capital	(\$11,572,587)	(\$46,850)	(\$4,855)	(\$41,995)	-864.99%	(\$51,094)	(\$6,521)	(\$44,573)	-683.52%
59-Transfers Out	(\$60,325)	\$0	\$0	\$0	0.00%	\$0	\$0	\$0	0.00%
5-Expenses Total	(\$12,455,213)	(\$77,005)	(\$30,474)	(\$46,531)	-152.69%	(\$104,008)	(\$196,740)	\$92,732	47.13%
40-Capital Projects Total	(\$5,889,593)	\$9,875	\$678,821	(\$668,946)	-98.55%	\$585,901	\$593,248	(\$7,347)	-1.24%
60-Golf Fund									
4-Revenues									
41-Taxes	\$0								
42-Charges for Services	\$3,533,200	\$99,405	\$104,332	(\$4,927)	-4.72%	\$133,900	\$131,005	\$2,895	2.21%
44-Rentals	\$653,000	\$0	\$0	\$0	0.00%	\$0	\$0	\$0	0.00%
45-Product Sales	\$6,498,000	\$212,326	\$225,828	(\$13,501)	-5.98%	\$384,210	\$435,286	(\$51,076)	-11.73%
46-Grants & Donations	\$0	\$0	\$0	\$0	0.00%	\$0	\$0	\$0	0.00%
47-Misc. Income	\$22,000	\$1,177	\$10,029	(\$8,851)	-88.26%	\$1,822	\$10,029	(\$8,206)	-81.83%
48-Interest Income	\$150,000	\$97,822	\$171,947	(\$74,124)	-43.11%	\$105,677	\$181,433	(\$75,756)	-41.75%
49-Transfers In	\$0								
4-Revenues Total	\$10,856,200	\$410,731	\$512,135	(\$101,404)	-19.80%	\$625,608	\$757,752	(\$132,144)	-17.44%
5-Expenses									
51-Salaries & Wages	(\$4,734,331)	(\$260,795)	(\$261,934)	\$1,140	0.44%	(\$543,935)	(\$542,943)	(\$992)	-0.18%
52-Contractual Services	(\$2,466,451)	(\$75,869)	(\$57,629)	(\$18,240)	-31.65%	(\$115,890)	(\$102,668)	(\$13,222)	-12.88%
53-Supplies	(\$2,422,162)	(\$136,344)	(\$128,816)	(\$7,528)	-5.84%	(\$168,163)	(\$161,681)	(\$6,482)	-4.01%
54-Other Charges	(\$344,664)	(\$23,206)	(\$30,449)	\$7,243	23.79%	(\$42,318)	(\$44,955)	\$2,637	5.87%
57-Capital	(\$3,542,138)	(\$5,875)	\$0	(\$5,875)	0.00%	(\$5,875)	\$0	(\$5,875)	0.00%
59-Transfers Out	(\$78,000)	\$0	\$0	\$0	0.00%	\$0	\$0	\$0	0.00%
5-Expenses Total	(\$13,587,745)	(\$502,089)	(\$478,829)	(\$23,261)	-4.86%	(\$876,180)	(\$852,246)	(\$23,934)	-2.81%
60-Golf Fund Total	(\$2,731,545)	(\$91,358)	\$33,306	(\$124,664)	-374.30%	(\$250,572)	(\$94,494)	(\$156,078)	-165.17%

Operating Statements for the Major and Internal Service Funds

Row Labels	Full Year Budget	Sum of CY Month	Sum of LY Month	Month Variance	% Month Variance	Sum of Curr YTD	Sum of LY YTD	YTD Variance	% YTD Variance
70-Information Technology									
4-Revenues									
42-Charges for Services	\$662,994	\$0	\$0	\$0	0.00%	\$0	\$0	\$0	0.00%
43-Debt Proceeds	\$0								
47-Misc. Income	\$100	\$0	\$0	\$0	0.00%	\$0	\$0	\$0	0.00%
48-Interest Income	\$0								
49-Transfers In	\$0								
4-Revenues Total	\$663,094	\$0	\$0	\$0	0.00%	\$0	\$0	\$0	0.00%
5-Expenses									
52-Contractual Services	(\$571,793)	(\$107,658)	(\$54,899)	(\$52,759)	-96.10%	(\$135,444)	(\$124,322)	(\$11,122)	-8.95%
53-Supplies	(\$91,501)	(\$52)	(\$758)	\$706	93.15%	(\$551)	(\$1,087)	\$536	49.32%
57-Capital	\$0								
5-Expenses Total	(\$663,294)	(\$107,710)	(\$55,657)	(\$52,053)	-93.52%	(\$135,995)	(\$125,409)	(\$10,586)	-8.44%
70-Information Technology Total	(\$200)	(\$107,710)	(\$55,657)	(\$52,053)	-93.52%	(\$135,995)	(\$125,409)	(\$10,586)	-8.44%
75-Health Insurance									
4-Revenues									
42-Charges for Services	\$2,251,401	\$0	\$0	\$0	0.00%	\$0	\$0	\$0	0.00%
47-Misc. Income	\$255,887	\$19,947	\$14,970	\$4,977	33.25%	\$40,013	\$30,084	\$9,929	33.00%
48-Interest Income	\$150	\$1	\$2	(\$0)	-10.00%	\$3	\$3	(\$1)	-19.00%
49-Transfers In	\$0								
4-Revenues Total	\$2,507,438	\$19,948	\$14,971	\$4,977	33.24%	\$40,015	\$30,088	\$9,928	33.00%
5-Expenses									
52-Contractual Services	(\$2,508,288)	(\$382,842)	(\$161,446)	(\$221,396)	-137.13%	(\$579,231)	(\$340,942)	(\$238,289)	-69.89%
5-Expenses Total	(\$2,508,288)	(\$382,842)	(\$161,446)	(\$221,396)	-137.13%	(\$579,231)	(\$340,942)	(\$238,289)	-69.89%
75-Health Insurance Total	(\$850)	(\$362,893)	(\$146,475)	(\$216,419)	-147.75%	(\$539,215)	(\$310,854)	(\$228,361)	-73.46%
Grand Total	(\$11,252,119)	(\$1,068,747)	(\$99,147)	(\$969,600)	-977.94%	(\$1,113,943)	(\$924,431)	(\$189,512)	-20.50%

Major Operating Funds by Department

Row Labels	Full Year Budget	Sum of CY Month	Sum of LY Month	Month Variance	% Month Variance	Sum of Curr YTD	Sum of LY YTD	YTD Variance	% YTD Variance
10-General									
000-Administration									
4-Revenues									
41-Taxes	\$2,633,058	\$0	\$0	\$0	0.00%	\$0	\$0	\$0	0.00%
42-Charges for Services	\$231,800	\$3,022	\$1,873	\$1,149	61.36%	\$6,522	\$3,300	\$3,222	97.65%
43-Debt Proceeds	\$0								
44-Rentals	\$8,755	\$0	\$21,570	(\$21,570)	-100.00%	\$0	\$21,570	(\$21,570)	-100.00%
45-Product Sales	\$53,200	\$0	\$0	\$0	0.00%	\$0	\$325	(\$325)	-99.90%
46-Grants & Donations	\$0								
47-Misc. Income	\$3,500	\$22,341	\$33	\$22,309	67601.85%	\$22,341	\$3,386	\$18,955	559.80%
48-Interest Income	\$100,000	\$33,947	\$15,473	\$18,474	119.39%	\$40,552	\$26,875	\$13,676	50.89%
49-Transfers In	\$0								
4-Revenues Total	\$3,030,313	\$59,311	\$38,949	\$20,362	52.28%	\$69,415	\$55,456	\$13,959	25.17%
5-Expenses									
51-Salaries & Wages	(\$1,013,179)	(\$65,011)	(\$64,091)	(\$921)	-1.44%	(\$138,986)	(\$137,648)	(\$1,338)	-0.97%
52-Contractual Services	(\$963,410)	(\$13,100)	(\$11,093)	(\$2,007)	-18.10%	(\$21,019)	(\$18,544)	(\$2,476)	-13.35%
53-Supplies	(\$133,810)	(\$2,990)	(\$3,116)	\$126	4.04%	(\$2,990)	(\$3,227)	\$237	7.34%
54-Other Charges	(\$214,090)	(\$16,168)	(\$18,088)	\$1,920	10.62%	(\$21,147)	(\$24,037)	\$2,890	12.02%
57-Capital	\$0								
59-Transfers Out	(\$372,850)	\$0	\$0	\$0	0.00%	\$0	\$0	\$0	0.00%
5-Expenses Total	(\$2,697,339)	(\$97,270)	(\$96,388)	(\$882)	-0.91%	(\$184,142)	(\$183,455)	(\$686)	-0.37%
000-Administration Total	\$332,974	(\$37,959)	(\$57,439)	\$19,480	33.91%	(\$114,727)	(\$127,999)	\$13,273	10.37%
101-Parks Maintenance									
4-Revenues									
41-Taxes	\$2,633,058	\$0	\$0	\$0	0.00%	\$0	\$0	\$0	0.00%
42-Charges for Services	\$5,000								
46-Grants & Donations	\$0								
47-Misc. Income	\$5,000	\$0	\$8,406	(\$8,406)	-100.00%	\$48	\$8,406	(\$8,358)	-99.43%
49-Transfers In	\$0								
4-Revenues Total	\$2,643,058	\$0	\$8,406	(\$8,406)	-100.00%	\$48	\$8,406	(\$8,358)	-99.43%
5-Expenses									
51-Salaries & Wages	(\$2,046,106)	(\$144,102)	(\$131,135)	(\$12,966)	-9.89%	(\$304,865)	(\$283,377)	(\$21,488)	-7.58%
52-Contractual Services	(\$760,528)	(\$11,604)	(\$8,283)	(\$3,321)	-40.10%	(\$17,712)	(\$13,192)	(\$4,520)	-34.26%
53-Supplies	(\$411,071)	(\$14,951)	(\$18,303)	\$3,352	18.32%	(\$17,645)	(\$18,875)	\$1,230	6.52%
54-Other Charges	(\$19,550)	(\$2,617)	(\$4,493)	\$1,876	41.76%	(\$2,617)	(\$4,493)	\$1,876	41.76%
57-Capital	(\$670,000)	\$0	\$0	\$0	0.00%	\$0	(\$173,394)	\$173,394	100.00%
59-Transfers Out	\$0								
5-Expenses Total	(\$3,907,255)	(\$173,273)	(\$162,214)	(\$11,059)	-6.82%	(\$342,838)	(\$493,331)	\$150,493	30.51%
101-Parks Maintenance Total	(\$1,264,197)	(\$173,273)	(\$153,808)	(\$19,465)	-12.66%	(\$342,790)	(\$484,925)	\$142,135	29.31%
430-Historical Museum									
4-Revenues									
42-Charges for Services	\$86,697	\$891	\$862	\$29	3.36%	\$2,297	\$1,909	\$388	20.31%
44-Rentals	\$11,050	\$1,789	\$195	\$1,594	817.44%	\$3,512	\$1,964	\$1,548	78.82%
45-Product Sales	\$2,000	\$164	\$96	\$68	70.78%	\$301	\$111	\$189	170.66%
46-Grants & Donations	\$189,745	\$715	\$3,601	(\$2,886)	-80.14%	\$48,064	\$46,014	\$2,049	4.45%
47-Misc. Income	\$0	\$0	\$0	\$0	0.00%	\$0	\$0	\$0	0.00%
4-Revenues Total	\$289,492	\$3,559	\$4,754	(\$1,195)	-25.14%	\$54,173	\$49,999	\$4,174	8.35%
5-Expenses									
51-Salaries & Wages	(\$168,280)	(\$12,320)	(\$11,801)	(\$520)	-4.40%	(\$24,507)	(\$23,050)	(\$1,456)	-6.32%
52-Contractual Services	(\$123,061)	(\$452)	(\$688)	\$236	34.28%	(\$1,065)	(\$1,052)	(\$13)	-1.20%
53-Supplies	(\$13,406)	(\$684)	(\$143)	(\$541)	-378.29%	(\$753)	(\$213)	(\$539)	-253.19%
54-Other Charges	(\$8,070)	(\$8)	(\$35)	\$27	76.31%	(\$8)	(\$35)	\$27	76.31%
57-Capital	\$0								
5-Expenses Total	(\$312,817)	(\$13,464)	(\$12,666)	(\$798)	-6.30%	(\$26,333)	(\$24,351)	(\$1,982)	-8.14%
430-Historical Museum Total	(\$23,325)	(\$9,905)	(\$7,912)	(\$1,993)	-25.19%	\$27,840	\$25,647	\$2,193	8.55%
10-General Total	(\$954,547)	(\$221,137)	(\$219,159)	(\$1,978)	-0.90%	(\$429,676)	(\$587,277)	\$157,600	26.84%
20-Recreation									
000-Administration									
4-Revenues									

Major Operating Funds by Department

Row Labels	Full Year Budget	Sum of CY Month	Sum of LY Month	Month Variance	% Month Variance	Sum of Curr YTD	Sum of LY YTD	YTD Variance	% YTD Variance
41-Taxes	\$5,216,865	\$0	\$0	\$0	0.00%	\$0	\$0	\$0	0.00%
42-Charges for Services	\$186,500	\$5,850	\$3,800	\$2,050	53.95%	\$11,450	\$7,400	\$4,050	54.73%
44-Rentals	\$20,000	\$19,878	\$0	\$19,878	0.00%	\$19,878	\$1,763	\$18,115	1027.53%
45-Product Sales	\$54,514	\$125	\$203	(\$79)	-38.86%	\$171	\$318	(\$148)	-46.51%
46-Grants & Donations	\$16,100	\$4,164	\$170	\$3,994	2349.57%	\$4,175	\$4,222	(\$48)	-1.13%
47-Misc. Income	\$7,500	\$500	\$275	\$225	81.64%	\$720	\$430	\$290	67.33%
48-Interest Income	\$100,000	\$59,238	\$28,526	\$30,712	107.66%	\$75,550	\$50,555	\$24,995	49.44%
49-Transfers In	\$0								
4-Revenues Total	\$5,601,479	\$89,754	\$32,974	\$56,780	172.20%	\$111,944	\$64,689	\$47,254	73.05%
5-Expenses									
51-Salaries & Wages	(\$1,666,065)	(\$117,647)	(\$108,723)	(\$8,924)	-8.21%	(\$246,411)	(\$227,429)	(\$18,982)	-8.35%
52-Contractual Services	(\$1,102,941)	(\$37,423)	(\$39,266)	\$1,843	4.69%	(\$47,095)	(\$49,850)	\$2,755	5.53%
53-Supplies	(\$255,662)	(\$5,307)	(\$3,914)	(\$1,392)	-35.58%	(\$5,366)	(\$4,513)	(\$853)	-18.89%
54-Other Charges	(\$143,135)	(\$20,063)	(\$23,688)	\$3,625	15.30%	(\$25,132)	(\$28,941)	\$3,810	13.16%
57-Capital	\$0								
59-Transfers Out	(\$1,630,000)	\$0	\$0	\$0	0.00%	\$0	\$0	\$0	0.00%
5-Expenses Total	(\$4,797,802)	(\$180,440)	(\$175,591)	(\$4,848)	-2.76%	(\$324,004)	(\$310,734)	(\$13,270)	-4.27%
000-Administration Total	\$803,676	(\$90,685)	(\$142,617)	\$51,931	36.41%	(\$212,060)	(\$246,044)	\$33,984	13.81%
101-Parks Maintenance									
4-Revenues									
42-Charges for Services	\$0								
44-Rentals	\$11,761	(\$885)	\$0	(\$885)	0.00%	(\$705)	\$315	(\$1,020)	-323.81%
45-Product Sales	\$0								
47-Misc. Income	\$0								
4-Revenues Total	\$11,761	(\$885)	\$0	(\$885)	0.00%	(\$705)	\$315	(\$1,020)	-323.81%
5-Expenses									
51-Salaries & Wages	(\$1,014,943)	(\$67,693)	(\$64,526)	(\$3,167)	-4.91%	(\$142,024)	(\$134,670)	(\$7,353)	-5.46%
52-Contractual Services	(\$420,660)	(\$4,854)	(\$8,799)	\$3,945	44.84%	(\$10,112)	(\$15,223)	\$5,110	33.57%
53-Supplies	(\$626,401)	(\$6,880)	(\$8,074)	\$1,194	14.79%	(\$8,578)	(\$11,212)	\$2,634	23.50%
57-Capital	(\$46,000)								
5-Expenses Total	(\$2,108,004)	(\$79,426)	(\$81,398)	\$1,972	2.42%	(\$160,714)	(\$161,105)	\$392	0.24%
101-Parks Maintenance Total	(\$2,096,243)	(\$80,311)	(\$81,398)	\$1,087	1.34%	(\$161,419)	(\$160,790)	(\$628)	-0.39%
220-Recreation Programs									
4-Revenues									
42-Charges for Services	\$5,687,636	\$386,305	\$332,460	\$53,845	16.20%	\$726,267	\$694,189	\$32,078	4.62%
44-Rentals	\$50,000	\$3,461	\$3,212	\$249	7.76%	\$6,581	\$7,046	(\$465)	-6.60%
45-Product Sales	\$11,025	\$4,155	\$2,688	\$1,467	54.59%	\$5,219	\$2,808	\$2,411	85.87%
46-Grants & Donations	\$0								
47-Misc. Income	\$0								
4-Revenues Total	\$5,748,661	\$393,921	\$338,360	\$55,561	16.42%	\$738,068	\$704,043	\$34,025	4.83%
5-Expenses									
51-Salaries & Wages	(\$1,547,332)	(\$75,252)	(\$82,415)	\$7,164	8.69%	(\$143,904)	(\$155,445)	\$11,541	7.42%
52-Contractual Services	(\$2,602,528)	(\$278,566)	(\$242,954)	(\$35,611)	-14.66%	(\$336,791)	(\$282,999)	(\$53,792)	-19.01%
53-Supplies	(\$255,248)	(\$14,741)	(\$7,480)	(\$7,261)	-97.07%	(\$20,708)	(\$19,601)	(\$1,107)	-5.65%
54-Other Charges	(\$900)								
57-Capital	\$0								
5-Expenses Total	(\$4,406,008)	(\$368,558)	(\$332,849)	(\$35,708)	-10.73%	(\$501,403)	(\$458,046)	(\$43,358)	-9.47%
220-Recreation Programs Total	\$1,342,654	\$25,364	\$5,511	\$19,853	360.24%	\$236,664	\$245,997	(\$9,333)	-3.79%
221-Athletics									
4-Revenues									
42-Charges for Services	\$1,000,300	\$46,173	\$21,304	\$24,869	116.73%	\$67,575	\$46,315	\$21,259	45.90%
45-Product Sales	\$6,900	\$0	\$0	\$0	0.00%	\$0	\$0	\$0	0.00%
47-Misc. Income	\$0	\$2,834	\$0	\$2,834	0.00%	\$2,834	\$0	\$2,834	0.00%
49-Transfers In	\$0								
4-Revenues Total	\$1,007,200	\$49,007	\$21,304	\$27,703	130.04%	\$70,409	\$46,315	\$24,093	52.02%
5-Expenses									
51-Salaries & Wages	(\$73,365)	(\$3,829)	(\$2,124)	(\$1,704)	-80.24%	(\$8,207)	(\$4,485)	(\$3,722)	-82.98%
52-Contractual Services	(\$365,037)	(\$26,340)	(\$3,552)	(\$22,788)	-641.55%	(\$28,363)	(\$7,096)	(\$21,267)	-299.70%
53-Supplies	(\$328,550)	(\$34,910)	(\$50,686)	\$15,775	31.12%	(\$34,910)	(\$50,686)	\$15,775	31.12%

Major Operating Funds by Department

Row Labels	Full Year Budget	Sum of CY Month	Sum of LY Month	Month Variance	% Month Variance	Sum of Curr YTD	Sum of LY YTD	YTD Variance	% YTD Variance
41-Taxes	\$1,307,980	\$0	\$0	\$0	0.00%	\$0	\$0	\$0	0.00%
42-Charges for Services	\$0								
44-Rentals	\$0								
45-Product Sales	\$0								
46-Grants & Donations	\$0								
47-Misc. Income	\$0	\$0	\$0	\$0	0.00%	\$0	\$0	\$0	0.00%
48-Interest Income	\$25,000	\$7,692	\$5,977	\$1,715	28.69%	\$16,476	\$13,344	\$3,133	23.48%
49-Transfers In	\$0								
4-Revenues Total	\$1,332,980	\$7,692	\$5,977	\$1,715	28.69%	\$16,476	\$13,344	\$3,133	23.48%
5-Expenses									
51-Salaries & Wages	(\$85,888)	(\$6,222)	(\$5,998)	(\$224)	-3.74%	(\$13,647)	(\$13,207)	(\$440)	-3.33%
52-Contractual Services	(\$19,022)	(\$778)	(\$1,586)	\$808	50.98%	(\$1,140)	(\$1,933)	\$793	41.02%
53-Supplies	\$0								
54-Other Charges	(\$109)								
57-Capital	\$0								
59-Transfers Out	(\$68,900)	\$0	\$0	\$0	0.00%	\$0	\$0	\$0	0.00%
5-Expenses Total	(\$173,919)	(\$7,000)	(\$7,584)	\$584	7.70%	(\$14,787)	(\$15,140)	\$353	2.33%
000-Administration Total	\$1,159,061	\$692	(\$1,607)	\$2,299	143.07%	\$1,689	(\$1,796)	\$3,485	194.05%
101-Parks Maintenance									
4-Revenues									
47-Misc. Income	\$0								
4-Revenues Total	\$0								
5-Expenses									
51-Salaries & Wages	(\$53,238)	(\$4,052)	(\$5,168)	\$1,117	21.61%	(\$8,414)	(\$11,131)	\$2,718	24.42%
52-Contractual Services	(\$11,007)	\$0	\$0	\$0	0.00%	\$0	\$0	\$0	0.00%
53-Supplies	\$0								
57-Capital	\$0								
5-Expenses Total	(\$64,246)	(\$4,052)	(\$5,168)	\$1,117	21.61%	(\$8,414)	(\$11,131)	\$2,718	24.42%
101-Parks Maintenance Total	(\$64,246)	(\$4,052)	(\$5,168)	\$1,117	21.61%	(\$8,414)	(\$11,131)	\$2,718	24.42%
220-Recreation Programs									
4-Revenues									
42-Charges for Services	\$217,334	\$5,909	\$6,330	(\$420)	-6.64%	\$9,201	\$11,429	(\$2,228)	-19.50%
45-Product Sales	\$1,100	\$165	\$90	\$75	83.33%	\$165	\$90	\$75	83.33%
46-Grants & Donations	\$750	\$29	\$29	(\$0)	-0.69%	\$29	\$43	(\$15)	-33.86%
4-Revenues Total	\$219,184	\$6,103	\$6,448	(\$345)	-5.36%	\$9,394	\$11,562	(\$2,168)	-18.75%
5-Expenses									
51-Salaries & Wages	\$0								
52-Contractual Services	(\$2,900)	\$0	\$0	\$0	0.00%	\$0	\$0	\$0	0.00%
53-Supplies	(\$19,992)	(\$43)	\$0	(\$43)	0.00%	(\$43)	\$0	(\$43)	0.00%
57-Capital	\$0								
5-Expenses Total	(\$22,892)	(\$43)	\$0	(\$43)	0.00%	(\$43)	\$0	(\$43)	0.00%
220-Recreation Programs Total	\$196,292	\$6,060	\$6,448	(\$388)	-6.02%	\$9,351	\$11,562	(\$2,211)	-19.12%
350-Special Facilities									
5-Expenses									
51-Salaries & Wages	(\$35,791)	(\$2,728)	(\$2,634)	(\$94)	-3.57%	(\$5,701)	(\$5,354)	(\$347)	-6.49%
52-Contractual Services	(\$5,742)	\$0	\$0	\$0	0.00%	\$0	\$0	\$0	0.00%
53-Supplies	\$0								
54-Other Charges	(\$13,000)	\$0	(\$578)	\$578	100.06%	\$0	(\$578)	\$578	100.06%
57-Capital	\$0								
5-Expenses Total	(\$54,533)	(\$2,728)	(\$3,212)	\$484	15.08%	(\$5,701)	(\$5,932)	\$231	3.89%
350-Special Facilities Total	(\$54,533)	(\$2,728)	(\$3,212)	\$484	15.08%	(\$5,701)	(\$5,932)	\$231	3.89%
501-Cosley Zoo Operations									
4-Revenues									
42-Charges for Services	\$450,000	\$10,253	\$3,860	\$6,394	165.64%	\$12,554	\$5,714	\$6,840	119.70%
44-Rentals	\$70,000	\$4,128	\$2,288	\$1,841	80.45%	\$6,102	\$5,888	\$214	3.63%
45-Product Sales	\$0	\$0	\$0	\$0	0.00%	\$0	\$0	\$0	0.00%
46-Grants & Donations	\$161,500	\$9,274	\$8,095	\$1,179	14.57%	\$18,486	\$16,306	\$2,180	13.37%
47-Misc. Income	\$600	\$64	\$0	\$64	0.00%	\$64	\$0	\$64	0.00%
4-Revenues Total	\$682,100	\$23,719	\$14,242	\$9,477	66.54%	\$37,205	\$27,908	\$9,297	33.31%

Major Operating Funds by Department

Row Labels	Full Year Budget	Sum of CY Month	Sum of LY Month	Month Variance	% Month Variance	Sum of Curr YTD	Sum of LY YTD	YTD Variance	% YTD Variance
5-Expenses									
51-Salaries & Wages	(\$1,200,096)	(\$85,329)	(\$104,873)	\$19,544	18.64%	(\$173,871)	(\$185,328)	\$11,457	6.18%
52-Contractual Services	(\$443,524)	(\$6,850)	(\$11,493)	\$4,643	40.40%	(\$12,779)	(\$16,829)	\$4,050	24.07%
53-Supplies	(\$204,565)	(\$12,943)	(\$11,555)	(\$1,387)	-12.01%	(\$15,685)	(\$15,300)	(\$385)	-2.52%
54-Other Charges	(\$75,293)	(\$21,515)	(\$13,207)	(\$8,308)	-62.90%	(\$21,515)	(\$13,207)	(\$8,308)	-62.90%
57-Capital	\$0								
59-Transfers Out	\$0								
5-Expenses Total	(\$1,923,479)	(\$126,636)	(\$141,128)	\$14,491	10.27%	(\$223,849)	(\$230,664)	\$6,815	2.95%
501-Cosley Zoo Operations Total	(\$1,241,379)	(\$102,917)	(\$126,886)	\$23,968	18.89%	(\$186,644)	(\$202,756)	\$16,112	7.95%
22-Cosley Zoo Total	(\$4,804)	(\$102,945)	(\$130,425)	\$27,480	21.07%	(\$189,718)	(\$210,053)	\$20,335	9.68%
60-Golf Fund									
000-Administration									
4-Revenues									
41-Taxes	\$0								
42-Charges for Services	\$0								
46-Grants & Donations	\$0	\$0	\$0	\$0	0.00%	\$0	\$0	\$0	0.00%
47-Misc. Income	\$7,000	\$483	\$0	\$483	0.00%	\$483	\$0	\$483	0.00%
48-Interest Income	\$150,000	\$97,822	\$171,947	(\$74,124)	-43.11%	\$105,677	\$181,433	(\$75,756)	-41.75%
49-Transfers In	\$0								
4-Revenues Total	\$157,000	\$98,306	\$171,947	(\$73,641)	-42.83%	\$106,160	\$181,433	(\$75,273)	-41.49%
5-Expenses									
51-Salaries & Wages	(\$611,047)	(\$38,818)	(\$42,593)	\$3,775	8.86%	(\$83,787)	(\$92,086)	\$8,299	9.01%
52-Contractual Services	(\$795,665)	(\$29,620)	(\$16,809)	(\$12,811)	-76.21%	(\$42,135)	(\$38,485)	(\$3,650)	-9.48%
53-Supplies	(\$161,845)	(\$8,091)	(\$7,434)	(\$657)	-8.84%	(\$9,972)	(\$10,718)	\$746	6.96%
54-Other Charges	(\$144,664)	(\$16,160)	(\$23,801)	\$7,641	32.10%	(\$23,092)	(\$29,073)	\$5,981	20.57%
57-Capital	(\$2,735,000)	(\$5,875)	\$0	(\$5,875)	0.00%	(\$5,875)	\$0	(\$5,875)	0.00%
59-Transfers Out	(\$78,000)	\$0	\$0	\$0	0.00%	\$0	\$0	\$0	0.00%
5-Expenses Total	(\$4,526,220)	(\$98,564)	(\$90,637)	(\$7,928)	-8.75%	(\$164,860)	(\$170,361)	\$5,501	3.23%
000-Administration Total	(\$4,369,220)	(\$259)	\$81,310	(\$81,569)	-100.32%	(\$58,700)	\$11,072	(\$69,772)	-630.17%
101-Parks Maintenance									
5-Expenses									
51-Salaries & Wages	(\$29,565)	(\$2,279)	(\$2,131)	(\$148)	-6.95%	(\$4,876)	(\$4,374)	(\$502)	-11.49%
52-Contractual Services	(\$9,313)	(\$170)	(\$162)	(\$9)	-5.27%	(\$365)	(\$332)	(\$33)	-9.89%
53-Supplies	(\$10,000)	\$0	\$0	\$0	0.00%	\$0	\$0	\$0	0.00%
54-Other Charges	\$0								
57-Capital	\$0								
5-Expenses Total	(\$48,878)	(\$2,449)	(\$2,293)	(\$157)	-6.84%	(\$5,241)	(\$4,706)	(\$535)	-11.37%
350-Special Facilities Total	\$0								
601-Golf Maintenance									
4-Revenues									
46-Grants & Donations	\$0								
47-Misc. Income	\$0	\$0	\$0	\$0	0.00%	\$0	\$0	\$0	0.00%
4-Revenues Total	\$0	\$0	\$0	\$0	0.00%	\$0	\$0	\$0	0.00%
5-Expenses									
51-Salaries & Wages	(\$686,325)	(\$25,447)	(\$32,739)	\$7,292	22.27%	(\$61,871)	(\$67,184)	\$5,314	7.91%
52-Contractual Services	(\$206,380)	(\$6,762)	(\$4,166)	(\$2,596)	-62.31%	(\$9,524)	(\$6,797)	(\$2,727)	-40.13%
53-Supplies	(\$468,919)	(\$18,969)	(\$10,114)	(\$8,854)	-87.55%	(\$21,126)	(\$11,654)	(\$9,472)	-81.28%
54-Other Charges	(\$50,000)	(\$2,780)	\$0	(\$2,780)	0.00%	(\$2,780)	\$0	(\$2,780)	0.00%
57-Capital	(\$231,000)	\$0	\$0	\$0	0.00%	\$0	\$0	\$0	0.00%
5-Expenses Total	(\$1,642,624)	(\$53,958)	(\$47,019)	(\$6,939)	-14.76%	(\$95,301)	(\$85,636)	(\$9,666)	-11.29%
601-Golf Maintenance Total	(\$1,642,624)	(\$53,958)	(\$47,019)	(\$6,939)	-14.76%	(\$95,301)	(\$85,636)	(\$9,666)	-11.29%
611-Pro Shop/Golf Fees									
4-Revenues									
42-Charges for Services	\$2,983,000	\$80,582	\$76,380	\$4,202	5.50%	\$100,664	\$85,284	\$15,380	18.03%
44-Rentals	\$651,000	\$0	\$0	\$0	0.00%	\$0	\$0	\$0	0.00%
45-Product Sales	\$208,000	\$1,196	\$854	\$342	40.01%	\$2,332	\$984	\$1,348	137.01%
46-Grants & Donations	\$0								
47-Misc. Income	\$0	\$1	\$6,481	(\$6,480)	-99.98%	\$1	\$6,481	(\$6,480)	-99.98%
4-Revenues Total	\$3,842,000	\$81,779	\$83,715	(\$1,936)	-2.31%	\$102,997	\$92,749	\$10,248	11.05%

Major Operating Funds by Department

Row Labels	Full Year Budget	Sum of CY Month	Sum of LY Month	Month Variance	% Month Variance	Sum of Curr YTD	Sum of LY YTD	YTD Variance	% YTD Variance
5-Expenses									
51-Salaries & Wages	(\$723,281)	(\$27,262)	(\$25,985)	(\$1,277)	-4.91%	(\$58,215)	(\$57,358)	(\$857)	-1.49%
52-Contractual Services	(\$425,535)	(\$3,960)	(\$2,515)	(\$1,445)	-57.45%	(\$6,828)	(\$5,315)	(\$1,513)	-28.47%
53-Supplies	(\$196,235)	(\$21,631)	(\$20,239)	(\$1,393)	-6.88%	(\$24,826)	(\$20,239)	(\$4,588)	-22.67%
54-Other Charges	(\$40,000)	(\$163)	(\$295)	\$132	44.78%	(\$163)	(\$295)	\$132	44.78%
57-Capital	(\$100,000)	\$0	\$0	\$0	0.00%	\$0	\$0	\$0	0.00%
5-Expenses Total	(\$1,485,051)	(\$53,016)	(\$49,034)	(\$3,982)	-8.12%	(\$90,032)	(\$83,206)	(\$6,826)	-8.20%
611-Pro Shop/Golf Fees Total	\$2,356,949	\$28,763	\$34,682	(\$5,919)	-17.07%	\$12,965	\$9,543	\$3,423	35.86%
612-Food and Beverage									
4-Revenues									
42-Charges for Services	\$530,200	\$18,823	\$22,256	(\$3,433)	-15.43%	\$33,236	\$40,025	(\$6,789)	-16.96%
44-Rentals	\$2,000	\$0	\$0	\$0	0.00%	\$0	\$0	\$0	0.00%
45-Product Sales	\$6,290,000	\$211,130	\$224,973	(\$13,843)	-6.15%	\$381,877	\$434,302	(\$52,424)	-12.07%
46-Grants & Donations	\$0								
47-Misc. Income	\$15,000	\$693	\$3,548	(\$2,854)	-80.45%	\$1,338	\$3,548	(\$2,210)	-62.28%
4-Revenues Total	\$6,837,200	\$230,646	\$250,777	(\$20,131)	-8.03%	\$416,451	\$477,874	(\$61,423)	-12.85%
5-Expenses									
51-Salaries & Wages	(\$2,679,112)	(\$166,988)	(\$158,487)	(\$8,502)	-5.36%	(\$335,186)	(\$321,940)	(\$13,245)	-4.11%
52-Contractual Services	(\$1,028,875)	(\$35,346)	(\$33,960)	(\$1,386)	-4.08%	(\$57,012)	(\$51,705)	(\$5,307)	-10.26%
53-Supplies	(\$1,578,163)	(\$87,653)	(\$91,030)	\$3,376	3.71%	(\$112,239)	(\$119,071)	\$6,832	5.74%
54-Other Charges	(\$110,000)	(\$4,103)	(\$6,353)	\$2,250	35.42%	(\$16,283)	(\$15,587)	(\$696)	-4.46%
57-Capital	(\$476,138)	\$0	\$0	\$0	0.00%	\$0	\$0	\$0	0.00%
59-Transfers Out	\$0								
5-Expenses Total	(\$5,872,288)	(\$294,090)	(\$289,829)	(\$4,261)	-1.47%	(\$520,720)	(\$508,303)	(\$12,417)	-2.44%
612-Food and Beverage Total	\$964,912	(\$63,444)	(\$39,052)	(\$24,392)	-62.46%	(\$104,268)	(\$30,429)	(\$73,840)	-242.66%
613-Cross Country Skiing									
4-Revenues									
42-Charges for Services	\$20,000	\$0	\$5,696	(\$5,696)	-100.00%	\$0	\$5,696	(\$5,696)	-100.00%
45-Product Sales	\$0								
4-Revenues Total	\$20,000	\$0	\$5,696	(\$5,696)	-100.00%	\$0	\$5,696	(\$5,696)	-100.00%
5-Expenses									
51-Salaries & Wages	(\$5,000)								
52-Contractual Services	(\$683)	(\$11)	(\$17)	\$6	35.88%	(\$27)	(\$35)	\$8	23.60%
53-Supplies	(\$7,000)								
57-Capital	\$0								
5-Expenses Total	(\$12,683)	(\$11)	(\$17)	\$6	35.88%	(\$27)	(\$35)	\$8	23.60%
613-Cross Country Skiing Total	\$7,318	(\$11)	\$5,679	(\$5,690)	-100.19%	(\$27)	\$5,661	(\$5,688)	-100.47%
60-Golf Fund Total	(\$2,731,545)	(\$91,358)	\$33,306	(\$124,664)	-374.30%	(\$250,572)	(\$94,494)	(\$156,078)	-165.17%
Grand Total	(\$4,706,143)	(\$613,473)	(\$578,941)	(\$34,532)	-5.96%	(\$1,036,335)	(\$1,088,360)	\$52,025	4.78%

Parks Plus Fitness

PPF	Full Year Budget	Sum of CY Month	Sum of LY Month	Month Variance	% Month Variance	Sum of Curr YTD	Sum of LY YTD	YTD Variance	% YTD Variance
4-Revenues									
42-Charges for Services	\$594,000	\$42,038	\$37,601	\$4,437	11.80%	\$83,775	\$74,056	\$9,719	13.12%
44-Rentals	\$0								
45-Product Sales	\$0								
47-Misc. Income	\$0								
4-Revenues Total	\$594,000	\$42,038	\$37,601	\$4,437	11.80%	\$83,775	\$74,056	\$9,719	13.12%
5-Expenses									
51-Salaries & Wages	(\$408,793)	(\$29,617)	(\$31,132)	\$1,516	4.87%	(\$54,694)	(\$58,944)	\$4,250	7.21%
52-Contractual Services	(\$86,568)	(\$4,576)	(\$2,287)	(\$2,289)	-100.07%	(\$4,702)	(\$2,446)	(\$2,256)	-92.25%
53-Supplies	(\$71,902)	(\$4,651)	(\$3,408)	(\$1,243)	-36.46%	(\$5,376)	(\$6,065)	\$690	11.37%
54-Other Charges	(\$3,500)	(\$435)	(\$490)	\$55	11.32%	(\$435)	(\$490)	\$55	11.32%
57-Capital	\$0								
5-Expenses Total	(\$570,762)	(\$39,278)	(\$37,318)	(\$1,960)	-5.25%	(\$65,207)	(\$67,945)	\$2,738	4.03%
Grand Total	\$23,238	\$2,760	\$284	\$2,476	871.94%	\$18,568	\$6,110	\$12,458	203.89%

Central Athletic Center

CAC	Full Year Budget	Sum of		Month Variance	% Month Variance	Sum of Curr YTD	Sum of LY YTD	YTD Variance	% YTD Variance
		CY Month	Sum of LY Month						
4-Revenues									
42-Charges for Services	\$169,625	\$12,646	\$3,622	\$9,024	249.15%	\$21,378	\$8,086	\$13,292	164.38%
44-Rentals	\$50,000	\$3,461	\$3,212	\$249	7.76%	\$6,581	\$7,046	(\$465)	-6.60%
45-Product Sales	\$100	\$1,477	\$0	\$1,477	0.00%	\$2,521	\$0	\$2,521	0.00%
4-Revenues Total	\$219,725	\$17,584	\$6,834	\$10,750	157.30%	\$30,479	\$15,132	\$15,348	101.43%
5-Expenses									
51-Salaries & Wages	(\$78,200)	(\$9,369)	(\$8,009)	(\$1,360)	-16.98%	(\$16,525)	(\$14,421)	(\$2,103)	-14.59%
52-Contractual Services	(\$269,349)	(\$19,408)	(\$8,945)	(\$10,462)	-116.96%	(\$32,720)	(\$17,484)	(\$15,236)	-87.14%
53-Supplies	(\$36,580)	(\$1,298)	(\$1,904)	\$606	31.82%	(\$1,305)	(\$2,753)	\$1,448	52.58%
54-Other Charges	(\$500)								
57-Capital	\$0								
5-Expenses Total	(\$384,629)	(\$30,075)	(\$18,858)	(\$11,217)	-59.48%	(\$50,550)	(\$34,658)	(\$15,892)	-45.85%
Grand Total	(\$164,904)	(\$12,490)	(\$12,024)	(\$466)	-3.88%	(\$20,071)	(\$19,526)	(\$544)	-2.79%

Special Events

Special Events	Full Year Budget	Sum of CY Month	Sum of LY Month	Month Variance	% Month Variance	Sum of Curr YTD	Sum of LY YTD	YTD Variance	% YTD Variance
1900-Special Events-Miscellaneous									
4-Revenues	\$3,000								
5-Expenses	(\$22,000)	(\$136)	(\$46)	(\$90)	-196.24%	(\$136)	(\$154)	\$18	12.00%
1900-Special Events-Miscellaneous Total	(\$19,000)	(\$136)	(\$46)	(\$90)	-196.24%	(\$136)	(\$154)	\$18	12.00%
1902-4th of July									
4-Revenues	\$101,500	\$0	\$0	\$0	0.00%	\$0	\$0	\$0	0.00%
5-Expenses	(\$158,000)	\$0	\$0	\$0	0.00%	\$0	\$0	\$0	0.00%
1902-4th of July Total	(\$56,500)	\$0	\$0	\$0	0.00%	\$0	\$0	\$0	0.00%
1904-Memorial Park Events									
4-Revenues	\$800	\$0	\$0	\$0	0.00%	\$0	\$0	\$0	0.00%
5-Expenses	(\$10,496)	(\$46)	\$0	(\$46)	0.00%	(\$497)	(\$444)	(\$53)	-12.04%
1904-Memorial Park Events Total	(\$9,696)	(\$46)	\$0	(\$46)	0.00%	(\$497)	(\$444)	(\$53)	-12.04%
1905-Cream Of Wheaton									
4-Revenues	\$182,000	\$0	\$0	\$0	0.00%	\$2,000	\$0	\$2,000	0.00%
5-Expenses	(\$209,625)	(\$1,333)	\$0	(\$1,333)	0.00%	(\$2,628)	\$0	(\$2,628)	0.00%
1905-Cream Of Wheaton Total	(\$27,625)	(\$1,333)	\$0	(\$1,333)	0.00%	(\$628)	\$0	(\$628)	0.00%
1906-Summer Concerts									
4-Revenues	\$142,000	\$1,000	\$800	\$200	25.00%	\$4,000	\$1,800	\$2,200	122.22%
5-Expenses	(\$345,900)	(\$115)	(\$70)	(\$45)	-64.61%	(\$115)	(\$70)	(\$45)	-64.61%
1906-Summer Concerts Total	(\$203,900)	\$885	\$730	\$155	21.20%	\$3,885	\$1,730	\$2,155	124.55%
1907-Shakespeare Event									
4-Revenues	\$6,500	\$0	\$0	\$0	0.00%	\$0	\$0	\$0	0.00%
5-Expenses	(\$33,750)	\$0	\$0	\$0	0.00%	\$0	\$0	\$0	0.00%
1907-Shakespeare Event Total	(\$27,250)	\$0	\$0	\$0	0.00%	\$0	\$0	\$0	0.00%
1908-Fun Run Event									
4-Revenues	\$31,500	\$2,022	\$1,073	\$949	88.47%	\$2,522	\$1,500	\$1,022	68.16%
5-Expenses	(\$57,250)	(\$78)	(\$100)	\$22	21.77%	(\$78)	(\$211)	\$133	62.92%
1908-Fun Run Event Total	(\$25,750)	\$1,944	\$973	\$971	99.80%	\$2,444	\$1,289	\$1,155	89.62%
1925-Reindeer Run									
4-Revenues	\$62,000	\$1,285	\$90	\$1,195	1327.78%	\$1,597	\$1,700	(\$103)	-6.06%
5-Expenses	(\$43,500)	(\$3,552)	\$0	(\$3,552)	0.00%	(\$3,552)	(\$12)	(\$3,540)	-29500.00%
1925-Reindeer Run Total	\$18,500	(\$2,267)	\$90	(\$2,357)	-2618.89%	(\$1,955)	\$1,688	(\$3,643)	-215.82%
Grand Total	(\$351,221)	(\$953)	\$1,748	(\$2,701)	-154.51%	\$3,113	\$4,109	(\$996)	-24.24%

TO: Mike Benard, Executive Director
FROM: Dan Novak, Director of Arrowhead Operations
Kim Prazak, Assistant Director of Arrowhead Operations
DATE: March 2026
RE: Arrowhead Board Report

Arrowhead Golf Club

- February ranked among the top 3 driest Februarys on record for our area. Roughly 1.5" below average precipitation levels and **9.5"** below average snowfall levels. Average temperatures were about 4 degrees above normal marking a dry mild month.
- Meteorological winter (December – February) was mild with near normal averages for temperature and below average precipitation levels. We had the 3rd driest February on record, 11th least snowy meteorological winter on record, and 7th driest of any month on record.
- Arrowhead organized and completed CPR training for all staff.
- Golf Outing contracts, permanent tee-time payments and league registration forms came in regularly during the month. Registration is also now open for Permanent Tee Times, Couples League, and adult & junior group lessons. Golf operations added more junior clinic offerings for the 2026 seasons and the junior clinic sessions are all 100% sold out.
- Spring merchandise arrived. Staff have worked diligently to prep and display new merchandise for the 2026 season.
- Arrowhead golf staff attend the annual PGC show as an opportunity to network with other professionals as well as meet with sales representatives and vendors to place orders for the upcoming season. Staff placed an order for over 10k for Titleist Pro V1 golf balls for resale. AGC cost was \$11,869.19 with projected revenue of over \$15,500 / a 25% profit margin for each dozen sold.
- 100 Year Anniversary merchandise and promotions began to roll out to celebrate our centennial year.
- All systems and supplies have been checked, updated, and/or ordered to be ready for the start of the golf season
- Seasonal and part-time hiring and re-hiring got underway in February for the golf and grounds maintenance departments. Hiring is complete and training schedules are being determined.
- Building maintenance projects included: completed Champions Room restoration; kitchen hood cleaning; new beer lines ordered and installed.
- Grounds maintenance projects included: extensive bunker cleanings throughout course; routine golf car maintenance which includes changing oil and filters along with brake adjustments and seat replacement have been completed; removing covers from greens; Audubon certification renewal completed; cleaning up debris throughout the course; applying spring chemicals and fertilizers; cleaned sediment from ponds; took outdoor patio furniture out of storage to be setup; prep work for course opening holds top priority.

Arrowhead Food and Beverage

- The banquets team held 36 events in February.
 - 9 corporate events
 - 21 social events
 - 6 memorial luncheons
- Arrowhead's Bridal Showcase, Villa Amore was on February 1. We had 75 people in attendance. 15 vendors participated. The registered to have a booth at the event and

got the chance to advertise and meet our booked couples. We had some public attendance interested in booking their wedding venue with us for 2027. The feedback from our booked brides and grooms that attended the show said it was very helpful and fun! We had a lot of raffle opportunities for the attendees.

- Arrowhead hosted the Wheaton Park District Mixer. This was a great event! The ballroom hosted over 200 people and everyone enjoyed the food and social time. A special shoutout was given to Arrowhead staff for our 100th anniversary in 2026!
 - Dueling Pianos Dinner on February 21 went well. We had 99 people in attendance. We got rave reviews about the food. Which was an Italian buffet with tiramisu for dessert. We are thinking about hosting another musical group with a theme or tribute theme to go with next year. Dueling Pianos is always a successful event that people enjoy attending.
 - Arrowhead Banquets are getting prepared for the holiday buffets, Easter & Mother's Day. We are looking forward to hosting 700+ people in our facility for these special events
-
- Arrowhead Restaurant welcomed 3,765 guests in February.
 - February in the restaurant saw an uptick in business. The combination of some unseasonably warm days, Valentine's Day, Mardi Gras and the Olympics brought some more people into the restaurant. Our revenue was up 13% over the same period last year.
 - We continued to offer themed trivia. This month the theme was the popular television show "The Office." In addition to trivia, we also saw live music return to Arrowhead. The Juno Taylor Band, a one-man band featuring Mark Graves performed to a full bar.
 - The Valentine's Day menu was once again a hit this year. As was the Mardi Gras menu. Folks once again came from far and wide to get some Cajun favorites such as Hush Puppies, Fried Alligator, and of course, our very popular Gumbo.
 - Some recent reviews from OpenTable. Left after guests dine in the restaurant:

"Service was outstanding, food was delicious and portion size very good. A nice variety of drinks offered. We will definitely return."

&

"Had a great time - the prime rib was excellent, and the fried shrimp was also very good. Our server Murphy and the staff were very attentive. We will definitely be back especially when the weather gets warmer and they open their outdoor patio area!!"

TO: Michael Benard, Executive Director

FROM: Adam Lewandowski, Director of Athletic Programs & Facilities
Cody Nelson, Superintendent of Athletic Programs & Facilities
Alex DiSerio, Superintendent of Athletic Programs & Facilities

RE: Athletic Programs & Facilities Board Report

DATE: March 18, 2026



- **Travel Basketball**

- All Travel basketball teams will be competing in playoffs in the next couple of weeks. So far we have the below that has placed!
 - 4th Wheaton Thunder Purple – 1st Place
 - 4th Wheaton Thunder White – 3rd Place
 - 7th Wheaton North Blue – 2nd Place

- **Soccer**

- Winter indoor soccer has begun with 599 participants currently. In 2025 at this time registration was at 626 participants.
- Spring in-house soccer registration has opened with 673 participants currently with the season beginning in April. Last year at this time there were 660 participants registered.
- Wheaton United Invitational has begun with 151 teams currently registered. At this time last year there were 36 teams registered.

- **In-House Volleyball**

- Winter volleyball concluded at the end of February. There were 414 participants who participated. In 2025 there were 373 participants.

- **Cheerleading**

- The 2026 fall season, which will start in May, currently has 174 participants enrolled.

- **Lacrosse**

- Spring Lacrosse registration is active with 115 participants currently registered. Last year, there were 103 participants for the season.

- **Baseball & Softball**

- Baseball & Softball registration is at 704 currently registered for the season starting in April. In 2025, 877 participants total were registered for the Spring season.

- **Rams Football**

- Registration for the 2026 tackle season has begun with 260 participants currently registered. Last year, there were 285 participants registered at this time.
- Flag football registration has also begun with 72 participants currently registered with last year's registration at 81 at this time.

- **Pickleball**
 - 481 total participants are signed up currently for indoor pickleball drop ins for January-April 2026.

- **Athletic Programs**
 - Schools Out Escape camp was held on 2/16 at the Central Athletic Complex with 29 participants.
 - Winter Soccer Shots registration has begun with 98 participants bringing in \$14,092 in registration fees.
 - Winter Tumbling Times session I started this month with 176 participants, bringing in \$16,916 in registration fees.
 - Winter Hot Shots session I started this month with 64 participants, bringing in \$5,760 in registration fees.
 - EVP Winter Volleyball classes had 13 total participants, bringing in \$1,312 in registration fees.

- **Winter In-House Basketball – Concluded on February 14**

	2025	2026
Kindergarten	100	170
1st Boys	124	118
2nd Boys	154	130
3rd Boys	71	101
4th Boys	69	54
5th Boys	57	77
6th Boys	46	26
7th Boys	28	25
8th Boys	35	16
1st Girls	71	81
2nd Girls	64	97
3rd Girls	77	50
4th Girls	30	67
5th Girls	21	11
6th Girls	10	11
7th Girls	3	3
8th Girls	1	4
Total	961	1,041

- **Central Athletic Complex**

Total Usage Hours			
Categories	2025	2026	Change %
Paying Renters	131.40	190.32	44.84%
WPD Programs	1384.60	1,451.29	4.82%
Total	1,516.00	1,641.61	8.29%

Total Revenue			
Categories	2025	2026	Change %
Programs	\$2,746.00	\$7,892.34	187.41%
Batting Cage	\$774.00	\$558.00	-27.91%
Rentals	\$3,833.88	\$3,120.00	-18.62%
Total	\$7,353.88	\$11,570.34	57.34%

- **Central Athletic Complex Ice Rinks**

- Ice rinks closed for the season on February 12.

Ice Rink Reservations				
	Open Skate		Hockey Rink	
	Resident	Non-Resident	Resident	Non-Resident
December	1,088	83	846	36
January	924	49	420	25
February	302	4	91	3
Total	2,450		1,421	
Overall Total	3,871			

- **Aquatics**

- YTD – 3,034 passes / \$226,176.30
 - Holiday Pool Pass Sale (November 28 – December 14) – 1,933 passes / \$139,787.60
 - Dive Into Saving Pool Pass Sale (December 15 – January 11) – 626 passes / \$48,425.20
 - Summer Splash Pool Pass Sale (January 12 – April 30) – 475 passes / \$37,963.50
- 2025 1st 3 sales (November 29 – April 30) – 4,136 passes / \$314,568.55

- Parks Plus Fitness

PPF Membership Numbers*												
Month	March 2025	April 2025	May 2025	June 2025	July 2025	Aug 2025	Sep 2025	Oct 2025	Nov 2025	Dec 2025	Jan 2026	Feb 2026
Monthly EFT	742	749	731	733	732	721	710	707	730	761	769	787
Student Sale	47	9	53	93	98	61	22	17	31	130	135	130
Annual (No Flex or M/M)	523	545	550	557	561	559	559	563	547	539	552	562
Medicare/ Medicaid	937	958	941	953	966	981	978	994	1,002	1,019	1,044	1,049
Personal Training w/ Membership	94	94	96	95	86	88	86	88	84	82	87	100
Recovery Room	98	91	92	99	103	106	109	109	108	101	98	99
Group Fitness	143	142	148	148	156	145	142	139	135	136	130	130
Sports Performance	4	4	0**	0**	0**	0**	0**	0**	7	25	46	60
TOTAL	2,588	2,592	2,611	2,678	2,702	2,660	2,606	2,617	2,644	2,793	2,861	2,921

*Numbers ran on 2/24/26

**Not running

- The total amount of paying members PPF currently holds at 2,921
 - 45 members are currently suspended
- The total number of visits currently sits at 8,926 for this month
- Net membership profits from this month totaled \$25,700.00
- Total net profits from this month amount **\$32,736.50** (This includes January's insurance-based memberships)
 - \$24.00 From ClassPass
 - \$429.00 From ASHF (Active/Siver & Fit)
 - \$2,260.00 From Healthy Contributions (Renew Active)
 - \$5,323.25 From Tivity (Silver Sneakers) - Up over \$800 from last month
 - \$8,036.50 Total**

- **Marketing/Promotions**

- PPF Winter student sale ended on 1/31– 135 memberships sold
- PPF now has an Instagram page that will have posts on a weekly basis!

- **Programing/Operations**

- Ray Morrill Community Center locker rooms each got 10 full size lockers installed

- **Staff**

- Two new personal trainers were hired – Scott and Dave

TO: Mike Benard, Executive Director
FROM: Brian Kimbrough, Director of Parks & Planning
DATE: March 8, 2026
SUBJECT: March Board Report

Administration/Overall Department

- Picnic Rental Permitting: One Boy Scout Cabin rental was held. Twenty-Two future picnic reservations were reserved.
- One new commemorative tree and one new commemorative bench were purchased.
- Park Services assumed responsibility for the registration of Garden Plot rentals. From February 1st and 28th current plot holders had the opportunity to renew their registration. Open enrollment for residents began on March 2nd and the five remaining available plots were reserved on the first day.
- There have been 27.1" of snow this season. Staff continue to monitor facilities and parks for safe access throughout all weather conditions.

Purchases between \$10,000 - \$20,000

-

Planning

- Work on the Ray Morrill Community Center phase 3 interior renovations is progressing. The front entrance and front desk are anticipated to be completed in early April.
- Bids were opened for the prefabricated structure that is part of the planned Arrowhead driving range improvements. FGM Architects also provided an amendment to their contract for additional services. Construction is anticipated to begin in October.
- Bids were opened for color coating the tennis and pickleball courts at Atten Park. Work is planned for the summer.
- Bids were opened for painting baseball backstops at Atten and Seven Gables.
- Bids were opened for improvements at Graf Park, including the track, bleachers and batting cages. The replacement of the synthetic turf will be handled under a separate cooperative purchase agreement.
- Staff has been working with CUSD 200 on a temporary construction easement for work planned at Edison Middle School.
- Staff requested proposals from architects for concept plans and estimates related to the Rice Pool and Aquatic Center.

Facility & Buildings Operations

CAC

- Repaired CAC Door #9 lock-set.
- Pumped out glycol from the CAC ice rinks; removed and properly stored the manifold system.
- Installed new shelving in the CAC museum storage area.
- Fabricated and installed additional shelving for Museum storage cages to improve artifact organization.
- Ran new electrical circuits in the CAC Coaches Room to allow staff to safely charge cleaning equipment and tools.

RMCC

- Continued construction preparation work, including moving materials and furniture.
- Installed six new thresholds to improve wheelchair accessibility.
- Restored proper temperature control in the President's Room.
- Replaced failed thermostat in the President's Room.
- Facility crew conducted four days of staff training on playground and building inspections.

Cosley

- Installed two ceiling fans in the Cosley Pavilion, including new electrical runs and controls.
- Installed cameras in the new Cosley parking lot.
- Installed a new 220V electrical service line in the Cosley concession room.
- Diagnosed HVAC issues in the Cosley Feed Prep Room and ordered necessary parts.

Graf & PSC

- Completed fence repairs at the Graf overpass along the train tracks. This continues to be an ongoing issue and may require evaluation of heavier fence fabric or installation of a more permanent wall solution.
- Repaired PSC sign lighting by replacing rusted conduit and wiring with a new electrical run.

Projects/Parks

- Completed the perimeter fence around Sensory Garden Playground. 82 panels and post were erected in February to connect the 5-12-year-old playground to the back of the tree house. The entire playground area now has an enclosed fence with two-way entry.
- Soccer goal repairs. Grinding, sanding, and painting our soccer goals to enhance the quality of our athletic fields.
- Took advantage of warm weather and did spring cleanups and leaf removal at 7 Gables, Atten, Community Center, and Central Athletic Center.
- Playground inspections were completed on all our playgrounds in the district.
- The Central Athletic Center Ice Rinks closed for the 2026/26 season. Take down and removal of all ice components are taking place now.
- Signs and banners for the Community Center third phase construction.

- Tennis and Pickle Ball court Spring cleanup.
- Construction on the Kiwanis Kiosk Began at Sensory Garden Playground.
- Rice Pool Landscape renovations. Pruned and removed overgrown bushes, shrubs and unwanted plants in preparation for the 2026 pool season.

Fleet Management/Parks/Mowing

Fleet & Equipment

- The final section of trench drains at the Park Services Center was replaced; all metal fabrication and welding were completed in-house.
- Various brake repairs were completed on fleet trucks.
- Two kilns in the pottery room had coils replaced; repairs were performed in-house.
- A gas cabinet was installed and properly vented at the Zamboni storage facility.
- Multiple winter preparation tasks have been completed.
- Trailer inspections and safety checks were conducted on various units.

Parks

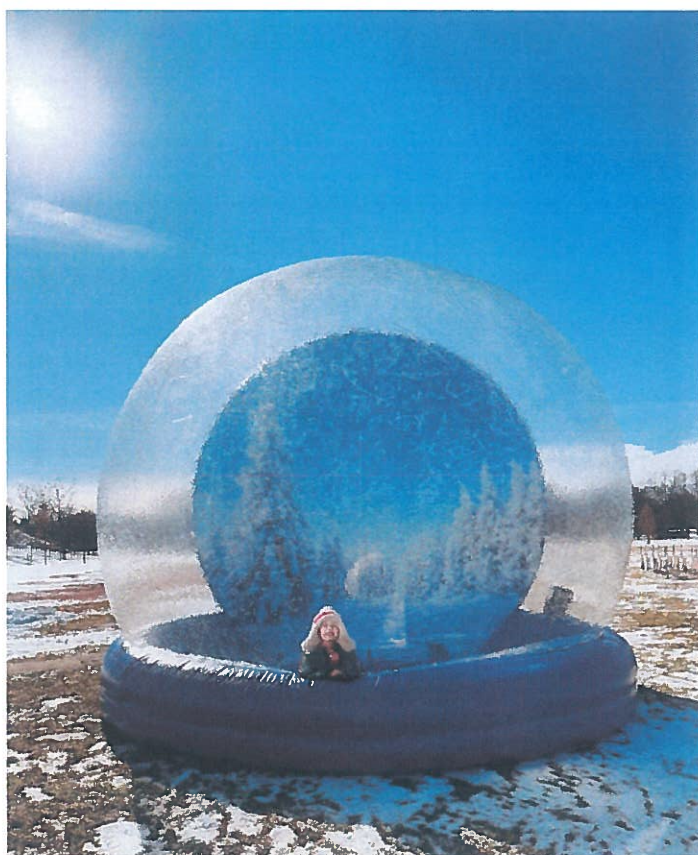
- Work at Rathje Park is nearing completion, with nearly all trees pruned.
- Tree stumps were ground at multiple locations.
- Pallet stacks at PSC were removed and sent for recycling.
- The scrap bin and dumpster area were cleaned and reorganized to accommodate the landscape dumpster.
- Cleanup work was completed at the Graf overpass near the stairwell.
- Two leaning Norway maples were removed at Hoffman Park, improving visibility and enhancing field safety.



TO: Mike Benard, Executive Director
FROM: Vicki Beyer, Director of Recreation
Jamie Martinson, Superintendent of Recreation Programs
RE: Recreation Department Board Report
DATE: March 18, 2026

Recreation Department- General

- The annual Ice-A-Palooza event was hosted at the Central Athletic Complex on February 7 with over 400 in attendance. New features included a hot beverage truck, an inflatable snow globe photo opportunity, new strolling characters, and mascots as well as a new “Chuck-A-Puck” game to wrap up the event.
- Construction at the Ray Morrill Community Center is progressing as planned. Patrons and staff have become accustomed to the new access routes and facility closures. Compliments have been received on our proactive signage throughout the facility.



Preschool & Camps- Kelly Nielsen

- In January, all classes at Toohey, Kidz Kingdom and Preschool collected snacks for DuPage PADS. On February, over 300 snack packs were assembled by staff and delivered to DuPage PADS Interim Housing Center in Downers Grove, where over 100 children are currently residing.
- Summer camp hiring has been completed.
- February celebrated dental hygiene month at preschool with Bauer and Bauer dentistry visiting all our preschool classrooms.
- Wide Horizons Preschool

2025 YTD Wide Horizons	2026 Wide Horizons	% Difference
47	64	+36%



Mary Lubko Center- Megann Panek

- AARP Tax services began on February 10, with 400 patrons taking advantage of free tax services being held at the Ray Morrill Community Center.
- Work continues on a new Mahjong & Mimosas event scheduled to be held in the Clocktower Room at AGC in April.
- Work continues on securing new partnerships and sponsorships for the MLC and programming.

Lincoln Marsh/Green Team- Terra Johnson, Deb Ditchman

- Challenge Course preparations are underway for the March annual inspection conducted by Experiential Systems, Inc (ESI).
- As of February 20, the Northside Park Warming Shelter has been open for 4 days in February with 252 visitors.
- Lincoln Marsh staff presented 8 outdoor education programs to 80 participants in February.
- Lincoln Marsh staff attended 3 different community engagement opportunities this month interacting with over 250 people at St. Michael's Stem Night, Wheaton Public Library's' Lego Night and Ice-A-Palooza. The goal is to connect with the community and highlight the program opportunities available at Lincoln Marsh.

Cultural Arts & Varied Interest- Chad Shingler

- Bowties & Tiaras was hosted at Arrowhead Golf Course in the Grand Ballroom on February 20 to a sold-out crowd of over 200 in attendance. Participants enjoyed an evening filled with dancing, ice cream sundae bar, raffles, crafts, a photo booth and more!
- Ticket sales began for the upcoming Children's Playhouse, Alice in Wonderland Jr. production, with over 800 tickets sold thus far.



DuPage County Historical Museum- Michelle Podkowa

- Work on the permanent exhibit, Route 66 and future exhibits continues.

- Outreach events were offered to over 100 patrons in February, including scout programs, special events, birthday parties and more.
- Four rentals took place at the Museum in the month of February.
- Work continues to prepare for the upcoming Trivia night.

Customer Service & Registration- Gracie Aviles, Rebecca Narrajos

- Monthly Customer Service Staff Training Topics:
 - Pool opening for 2065 season (updated hours from previous season)
 - Childcare Statements
 - Part time incentive benefits review
 - Preschool Registration
 - Purchase of Residency Benefits
- Updated & printed daily schedules.
- Merged/deleted RecTrac Households as needed and requested by staff.
- Revised & corrected newly created HH accounts to match our Resident & Non-resident status.
- Processed PT 2025 Incentive Benefit requests
- Counted banks & scanned logs to Finance.
- Booked Zone birthday parties.
- Updated front desk staff schedules.
- Stocked paper and soccer shirts.
- Prepared for Safety Fair/Safety Fair dry run.

Registration & Software- Rick Napier

- 2026 summer programs
 - Reactivated/updated summer programs in the RecTrac database.
 - Created new activity codes as needed.
 - Exported all summer programs to Marketing Dept
- Created tickets for Beyond Glee and Silvertones spring concerts.
- Updated Pool Guest coupons, Re-admittance coupons, Rain Check coupons, 1-Day Complimentary coupons, Baseball/Softball coupons and Clocktower Coupons for Director of Athletics and Facilities
- Assisted Finance Department with resolving an issue with how sales tax was processing in RecTrac for some facility rental items.
- Created Service Item code and POS button for Basketball Tournament Admissions for Superintendent of Athletic Programs.
- Ran Wide Horizons YTD enrollment comparison 2025 vs 2026 for Preschool and Camps Manager.
- Created Cardio Drumming punch pass in pass management and added to MLC Visit Profile for MLC Manager
- Facilitated New Hire Orientation at Community Center on February 17, 2026.
 - 10 attendees

- **The first 24-hour totals of resident registration comparison 2026/2025 for the 2026 spring, camps & aquatic program guide**
 - Total enrollment: 7,753 **(9.92% increase)**
 - Fees processed: \$1,240,285 vs \$1,089,673.75 **(13.82% increase)**
 - Totals above include Program Types of Spring, Camps and Aquatics only.
 - Webtrac app totals
 - Sale Count: 259
 - Sale Amount: \$37,485
 - Tax Amount: \$0
 - Net Amount: \$37,485
- **February Leisureship Program Update**
 - 9 families have been assisted in the current fiscal year.
 - 9 families had were assisted in the previous fiscal year.
 - 0% increase in families requesting assistance from 2026 vs. 2025.
- **February Refund Summary**
 - 421 refunds processed this year.
 - 441 refunds processed same month previous fiscal year.
 - 4.54% decrease in refunds processed.
 - Total refunds: \$43,011.25 vs. \$49,231.46 in 2025 (12.63% decrease)
 - Check refunds: \$1,066.
 - Household credits: \$20,492
 - Credit cards: \$21,453.25.
 - Administrative/service fees: \$3,146
- **Activity Registration Summary for February**
 - Total registrations: 11,355
 - Fees processed: \$1,650,384.75
 - Web registration: 9,866
 - Web percent: 86.89%
 - Walk-in registration: 1489
 - Walk-in percent: 13.11%
 - Resident registration: 11,008
 - Non-Resident registration: 347

Cosley Zoo Report February 2026

Zoo Operations & Events

- The Zoo will be hosting the wildlife film documentary: “Bank Swallows” by local film producer David Busse who will be present for the showing and be leading a Q & A session following the film. A follow up wildlife documentary is being planned for early spring.
- The Zoo has sent a priority list of projects to the Wheaton Parks department for renovations and repair that need to be completed prior to the accreditation inspection team’s arrival at the end of June.
- The Zoo has reviewed upcoming seasonal horticulture projects and plans with WPD for animal habitats and four pollinator and landscape gardens.
- Plans are being made for new grounds and botanical features to be added to the Zoo property this spring. An unveiling of these additions is planned for May 9th.

Animals

- The ducks have adjusted well to the new nighttime holding area that is part of the new Hale Pavilion.
- A plan has been developed for new plantings and substrate additions in many of the larger animal habitats.
- A plan has also been created to give zoo visitors access to the room that houses the Zoo’s animal ambassador collection.
- Zoo concessions is investigating upgrading concession equipment that will provide zoo visitors with ore exciting and nutritious food items.

Education

- The Junior Zookeepers welcome a speaker from the Forest Preserve District of DuPage County to their February meeting. The presentation was on DuPage County Backyard Birds. This presentation helped the kids get ready for and excited about participating in the Great Backyard Bird Count.
- Cosley Zoo FrogWatch offered the first of two trainings for the season. This virtual training was presented by zookeeper Alison LaBarge.
- Zoo educator represented the zoo at Brookdale Elementary’s STEAM Night with a bioinspiration display.
- Zoo Education Supervisor attended the Suburban Educators Roundtable discussion on Evaluation and Communication in School Programming.

Total Programs – February

Type of Program	2025 Number of programs	2025 Number of participants	2026 Number of programs	2026 Number of participants
Outreach	5	174	5	220
Guest Engagement*	0	0	8	54
Camps	0	0	0	0
Teen Programs***	4	38	4	39
School programs	1	12	0	0
Scout programs	3	48	1	25
Individual/Family programs**	3	45	4	90
Special Events	1	3	1	4
Rentals	1	45	2	110
Total	18	365	25	542

* Formerly Casual Interpretation – name has been changed for this program type to align with current industry terminology.

**Formerly Park District programs – name changed to reflect the audience/type of program more accurately.

***Formerly Jr Zookeeper Club – name changed to include Summer Teen Interpreter program

January

	Number of Programs	Number of Participants
On-site In-person	17	208
Off-site In-person	5	220
Virtual	1	4
Total	23	432

(On-site includes JZs, Bookworms, Scout, Guest Engagement)

Total Programs – January-February

Type of Program	2025 YTD Number of programs	2025 YTD Number of participants	2026 YTD Number of programs	2026 YTD Number of participants
Outreach	13	624	5	220
Guest Engagement	8	35	15	106
Camps	0	0	0	0
Teen Programs	15	109	16	109
School programs	1	12	0	0
Scout programs	4	65	2	35
Individual/Family programs	5	66	6	123
Special Events	1	3	1	4
Rentals	2	95	3	170
Total	49	1009	48	767

Marketing, Events & Development Board Report

Arrowhead Restaurant, Golf Course and Events.

Marketing for the 100th anniversary continue with the development of a coupon magnet that will be direct mailed and handed out at events. Additionally, special menus like St. Patrick’s Day, Easter Brunch and live music continue to be promoted via email and social media.

Athletics

Marketing continues to work with staff to promote Baseball/Softball 90th anniversary plans and events.

Cosley Zoo

Zoo and marketing staff are working together to finalize the plan to promote spring and summer events and offerings.

DuPage County Historical Museum

Eblasts were distributed and featured Trivia Night: Americana, Declaration 1776 exhibit and March news. Social media content included #ThrowbackThursday, Trivia Night: Americana, Train Saturday, posts for Black History Month and the Black Trailblazers exhibit and more.

Parks Plus Fitness

Marketing materials that were created include an updated letterhead, holistic health poster, spring break student sale poster and digital, and a group fitness meditation class flyer. The website was updated with new personal trainers' headshots and bios. Instagram account continues to grow.

Email Marketing

E-Blast/Subject	Date	Click to Open Rate	Results
Spring Program Guide and Ice a Palooza	February 3	10.6%	The link to view the guide was clicked 1,527 times
Cosley Run for the Animals	February 14	3.9%	31 race registrations
March WPD Newsletter	February 27	3.4%	Awareness of Spring programs and registration

Top Facebook posts (February)

- Ice-A-Palooza day of | 9,197 Views | February 7
- Ice skating and ice fishing open | 8,944 Views | February 4
- Early childhood staff service work acknowledgement | 4,969 Views | February 7

Top Instagram posts (February)

- Creative Services team congrats- agency showcase | 1,785 Views | February 3
- Ice-A-Palooza event promo | 1,199 Views | February 5
- Early childhood staff service work acknowledgement | 1,129 Views | February 7

Upcoming Special Events

Superhero Fun Run 3K | Saturday, April 18, 2026

As of March 11, 87 runners have registered and \$1,500 has been secured in sponsorship.

Cream of Wheaton | June 3 – 7, 2026

This four-day event is in the planning process. To date, we have \$13,500 in sponsorship secured, 9 business expo vendors and 2 food vendors. The carnival will be moving to another location due to the new building construction taking place on Liberty. City, police and staff are working together to finalize these plans.

Development.

Cosley Foundation

Cosley Zoo Run for the Animals | June 6, 2026

As of March 1, we have 169 runners registered for the event with \$2,500 in sponsorship. We are seeking out CARA recognition for this race in 2026. New this year, we have turned on peer to peer fundraising allowing runners to solicit donations to support the zoo; we'll have a prize for the top fundraiser

Cosley Classic Golf Outing | August 3, 2026

As of March 11, we have the presenting sponsor secured at \$10,000 and two hole sponsorships at \$800. The committee is meeting monthly to recruit sponsorship and discuss logistics.

Cosley February Memberships:

We had 64 new memberships (32 new and 32 renewals)

DuPage County Historical Museum Foundation

Past Event

Americana Trivia Night | March 6, 2026

The new event was a success with 16 teams and 85 participants. The event is expected to net approximately \$3,800 in revenue.

Upcoming Event

Bus Tour | May 15, 2026

Tickets for the new Sacred Spaces tour event are available. Marketing includes postcards, emails and social posts. As of March 11, one ticket has been purchased.

Route 66 Preview Brunch- August 15, 2026

Tickets will go on sale May 15.

Sensory Garden Playground

Upcoming Events

Summer Saturdays | May 16, June 20, July 18, August 22

Plans for the summer play days are in the works. To date \$500 in sponsorship has been secured. Themes include WDSRA 50th Anniversary, beach party, pirate treasure hunt and story book adventures.