



Wheaton Park District

PUBLIC NOTICE

**Wheaton Park District Board of Commissioners
SUBCOMITTEE MEETING
Wednesday July 2, 2025
DuPage County Historical Museum
102 E. Wesley Street, Wheaton, IL 60187
5:00 pm**

Public Notice Date June 30, 2025

Public notice is hereby given that the Board of Park Commissioners of the Wheaton Park District, DuPage County, Illinois (the “Park Board”) will hold a Subcommittee Meeting on Wednesday July 2, 2025, at the DuPage County Historical Museum 102 E. Wesley Street, Wheaton, IL 60187

**Please contact Michael J. Benard, Board Secretary, for further information.
mbenard@wheatonparks.org**

Michael J. Benard
Secretary

The Agenda for the July 2, 2025, Subcommittee Meeting is as Follows:

Persons with disabilities requiring reasonable accommodation to participate in this meeting should contact the park district’s ADA Compliance Officer, Michael Benard, at the park district’s Administrative Office, 102 E. Wesley Street, Wheaton, IL Monday through Friday from 8:30 am until 4:30 pm at least 48 hours prior to the meeting. Requests for a qualified ASL interpreter require five (5) working days advance notice. Telephone number 630.945-7726; fax number 630.665.5880; email dsiciliano@wheatonparks.org



Wheaton Park District

Subcommittee Meeting of the Wheaton Park District Board of Commissioners

July 2, 2025, 5:00 pm

No Action Will Be Taken at This Meeting – Review & Discussion Only

COMMUNITY INPUT

Public comments are important to the Board. However, it is the Board's policy not to take action on items until time has been taken to gather information and discuss all options. Lack of action does not imply lack of interest in the issues. During the community input portion of the agenda the Board typically will ask residents to provide input prior to accepting input from nonresidents.

The purpose of the public participation is to allow the public the opportunity to make a statement to the Board. The purpose of public participation is not to provoke a debate with the Board. Once an individual has spoken, that individual may not speak on the same issue again. Any limitation regarding addressing the Board may be waived by a majority vote of the Board.

Except during the public comment portion of the regular Board agenda, or as stated in this rule, no person other than the Executive Director or the District's Attorney may address the Board.

DISCUSSION ITEMS

Buildings and Grounds

- 1. Ray Morrill Community Center Interior Renovation Project Phase 3 – Design**
Presentation by Williams Architects
- 2. Arrowhead Rebranding** – Presentation by Julia Meade, WPD Graphic Design Manager
- 3. Community Center Memorial Room Drape Replacement** – Review proposal from Allstar Drapery
- 4. Cosley Zoo Education Pavilion & Duck Enclosure Project** – Review of Change Orders #6 & #7
- 5. Cosley Zoo Staff and Overflow Parking Area Project** – Review of Change Order #4
- 6. Arrowhead Driving Range Improvement Concept** – Review Proposal for Design Services
- 7. Northside Park Girl Scout Cabin** - Review of Building Conditions
- 8. Prairie Path Park Playground Equipment Purchase** - Review of Proposal from GameTime

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Wheaton Park District

9. **Seven Gables Park Fitness Equipment Purchase** - Review of Proposal from GameTime
10. **Briar Patch Park Adult Fitness Area Safety Surface** – Review of proposal from Perfect Turf
11. **Pickleball Shade Structures: Briar Patch Park, Central Park, & Northside Park** – Review Proposal from Parkreation
12. **Northside Pool Pump Replacement** – Review purchase of replacement pump for Northside Pool
13. **Playground Surface Repairs** – Review purchase of materials

Finance and Administration

1. **Access Audit and Transition Plan** - Review Contract Assignment from WT Group to W-T Group AEC, LLC.

CLOSED SESSION

- a. Appointment, Employment, Compensation, Discipline, Performance, or Dismissal of Specific Employees, 5ILCS 120/2 (c)(1)
- b. The Selection of a Person to Fill a Vacancy in Public Office, 5 ILCS 120/2(c)(3).
- c. Purchase or Lease of Real Property, 5ILCS 120/2 (c)(5)
- d. Setting of Price for Sale or Lease of Property Owned by the Public Body, 5ILCS 120/2 (c) (6)
- e. Pending, Probable or Imminent Litigation, 5ILCS 120/2 (c)(11)
- f. Discussion of Minutes of Meetings Lawfully Closed Under this Act, Whether for Purposes of Approval by the Body of the Minutes or Semi-Annual Review of the Minutes, 5 ILCS 120/2(c)(21)

ADJOURNMENT

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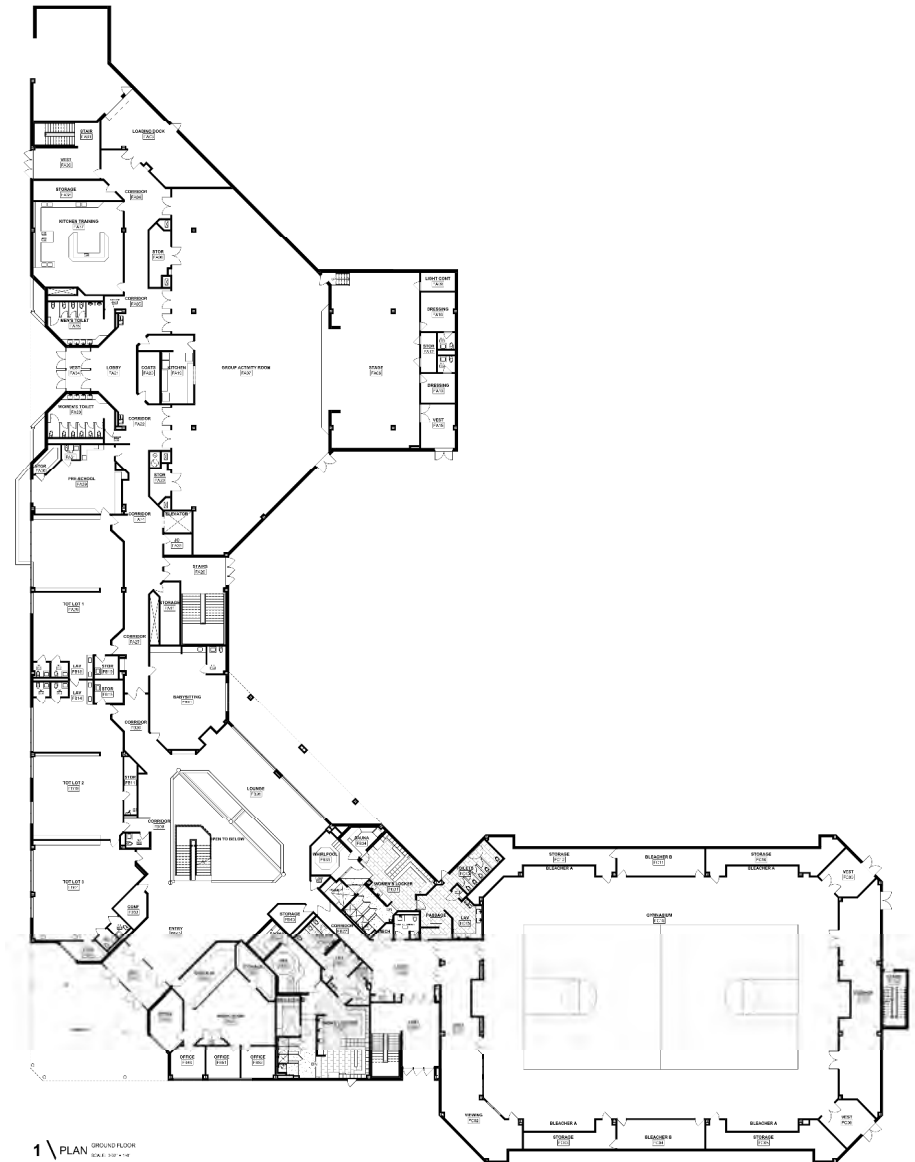
Board Presentation DRAFT

02 July 2025



Agenda

- Schedule Recap
- Schematic Design Plan (For Reference)
- Interiors Options Revisions
- Investment Revision
- Q&A / Open Discussion
- Next Steps





Conceptual Design Phase

- **Present to Subcommittee Meeting**

February 5 – May 7, 2025 (13 weeks)
7 May 2025

Schematic Design

- **Present to Subcommittee Meeting**
- **Board approval**

May 8 – July 2, 2025 (8 weeks)
July 2, 2025
July 16, 2025

Construction Documents

July 2025 – November 2025

Bidding / Negotiation Phase

- **Bids Due**
- **Present to Subcommittee Meeting**
- **Board Meeting**

December 17, 2025
January 7, 2026
January 21, 2026

Construction Phase (main project)

- **Begin Construction**

February 2 – August 21, 2026
February 2, 2026

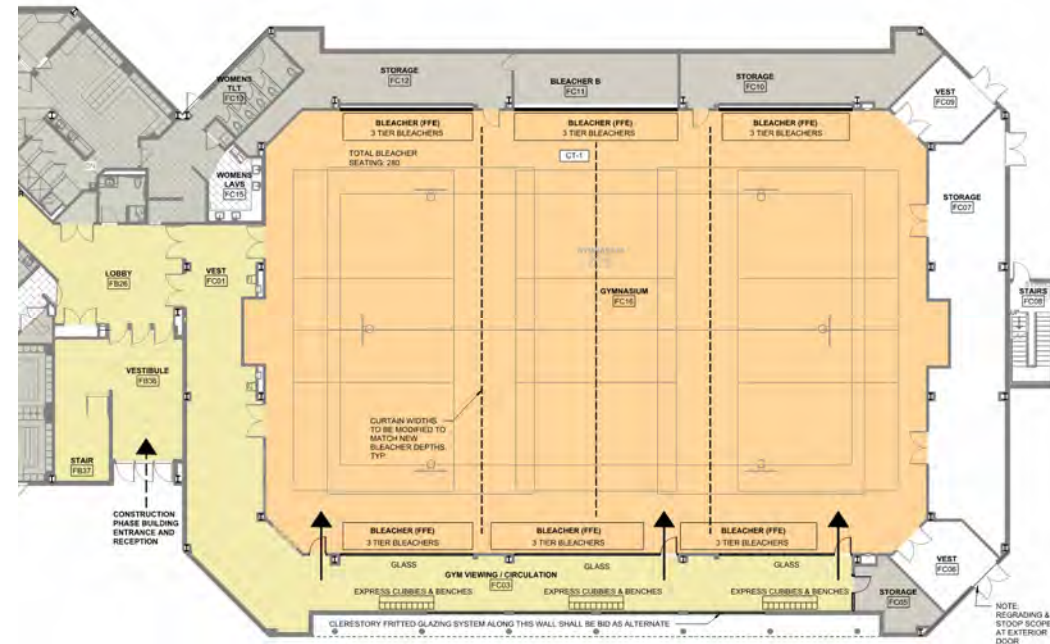


Enlarged Plan - North



Enlarged Plan - Central



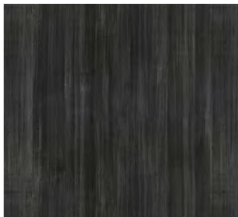


Enlarged Plan - South

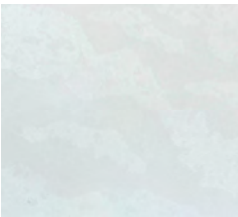
FINISHES



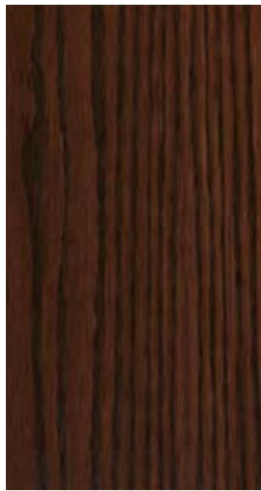
CERAMIC TILE



PLASTIC LAMINATE



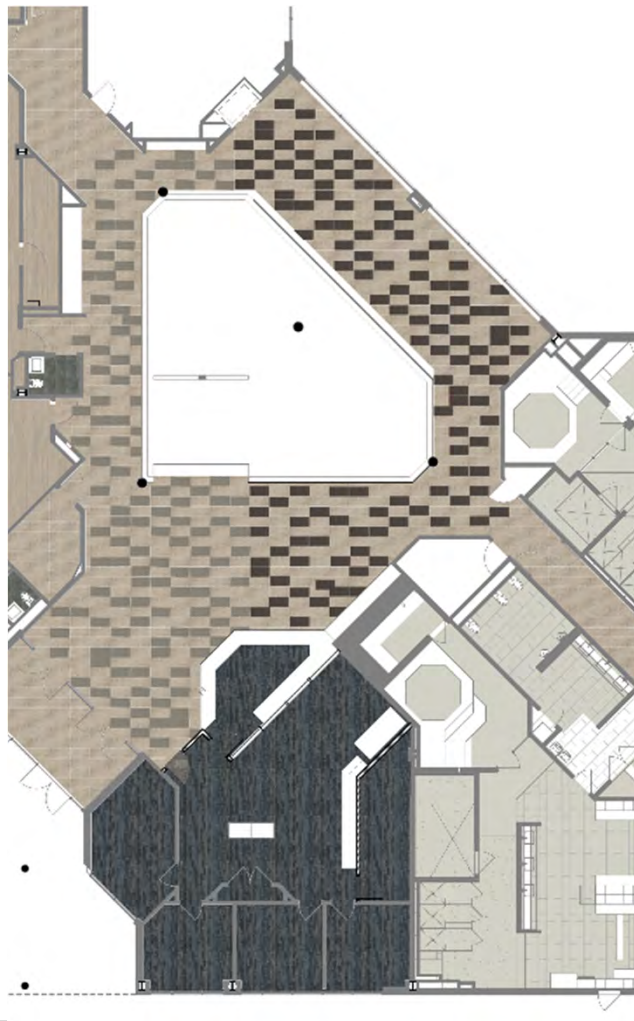
QUARTZ



WOOD PANEL

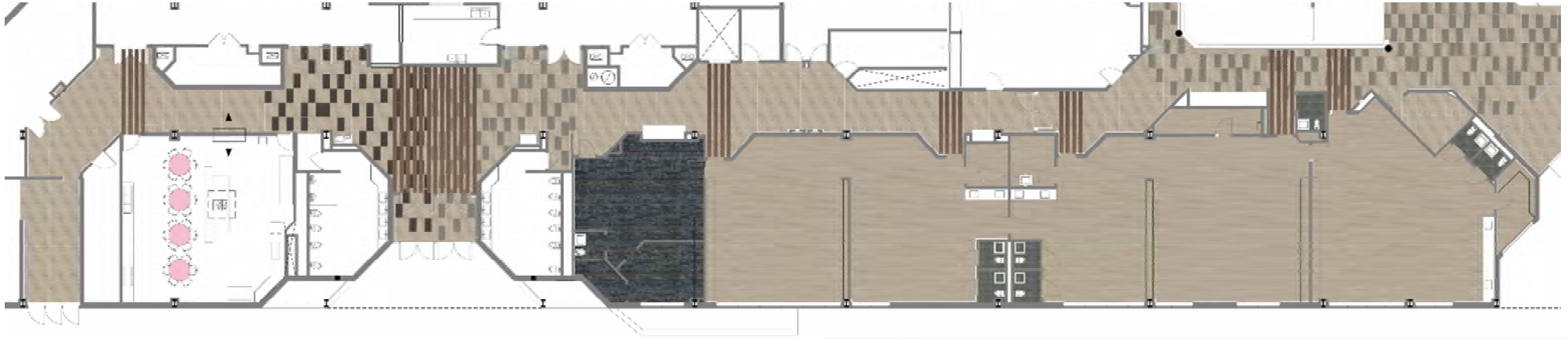


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FRONT DESK

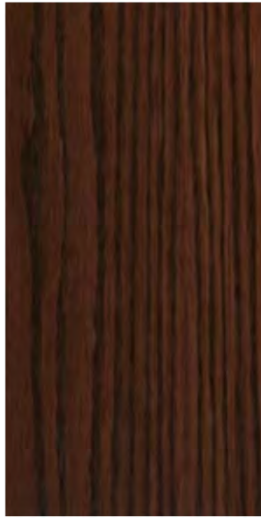




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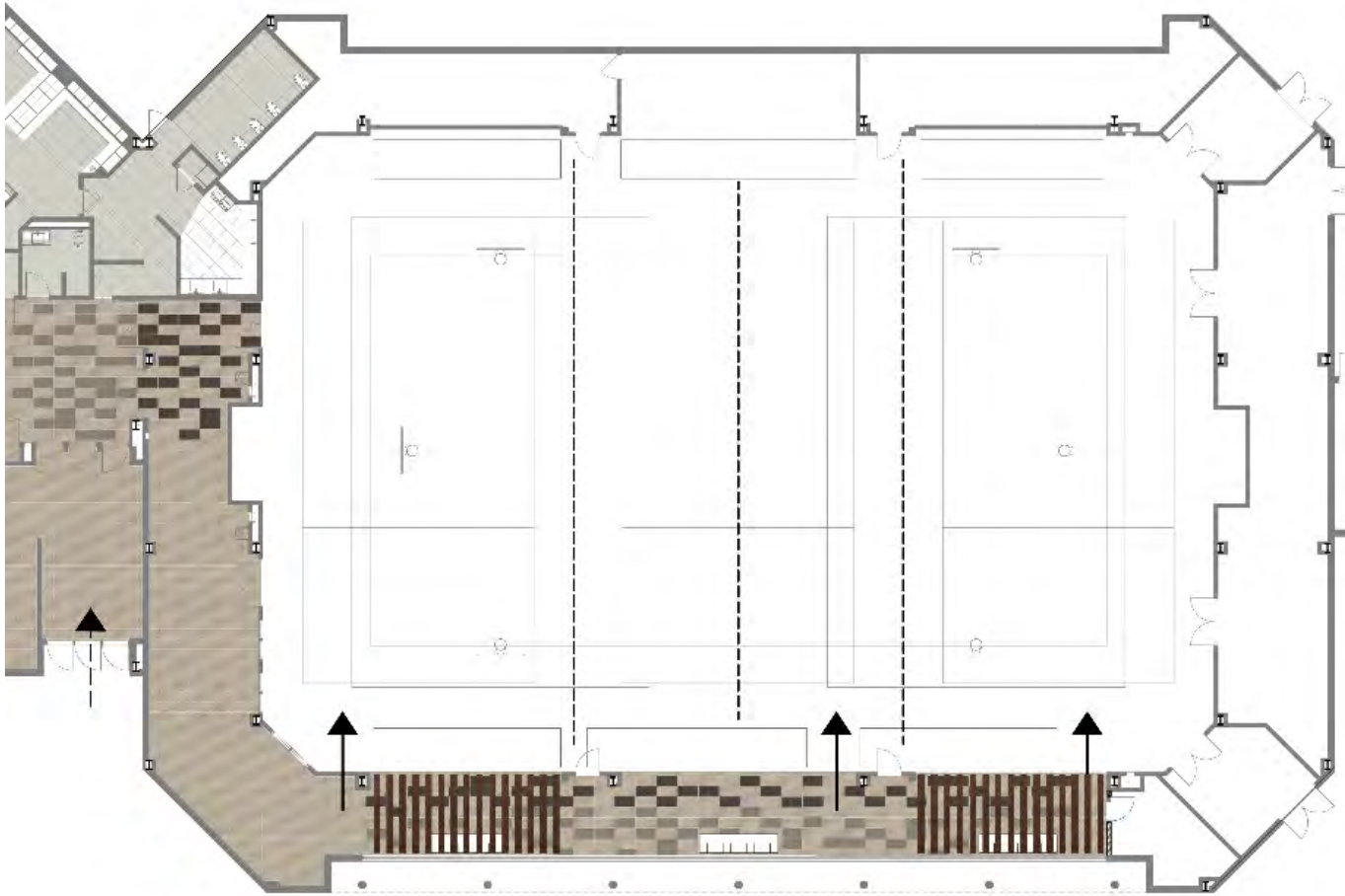


WOOD PANEL









CERAMIC TILE



WOOD PANEL



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ALL-IN BASE PROJECT COST:	\$3,849,631.00
ALTERNATE 1: Gym Renovations & Corridor:	\$762,714.00
ALTERNATE 2: Exterior Windows @ Gym Corridor:	\$44,924.00
ALTERNATE 3: Concession Countertop Rolling Window:	\$15,164.00
TOTAL PROJECT COST INCLUDING ALL ALTERNATES:	\$4,672,433.00

Investment



Q&A / Open Discussion



Next Steps

- Proceeding into Construction Documents
- Prepare drawings for Bid & Permit





Thank You!



TO: Board of Commissioners

FROM: Rob Sperl, Director of Parks and Planning
Steve Hinchee, Superintendent of Planning

THROUGH: Michael Benard, Executive Director

RE: Community Center Memorial Room Drape Replacement

DATE: July 2, 2025



SUMMARY:

The drapes in the Community Center Memorial room are old and need to be replaced. There are issues opening and closing the drapes with the mounting track as well as numerous rips and stains. The drapes also require periodic fireproofing, and the new drapes will have a lifetime fireproofing guarantee.

Staff prepared a request for proposal documents and specifications and received three proposals. The results were as follows:

Contractor	Quote
Allstar Drapery	\$24,250.00
Northwest Drapery Service	\$27,460.00
Onsite Drapery	\$29,806.29

Allstar Drapery has performed work for the district in the past and staff has been pleased with the results.

REVENUE OR FUNDING IMPLICATIONS:

Funds are available in account 40-800-846-57-5701-0000, Capital - CC/Rice/Blanchard.

ATTACHMENTS:

Three Proposals

RECOMMENDATION:

It is recommended that the Wheaton Park District Board of Commissioners accept the proposal from Allstar Drapery for a total of \$24,250.



May 15, 2025

Mr. Mark Wagner
Wheaton Park District
1777 S. Blanchard
Wheaton, IL 60187

SENT VIA EMAIL: mwagner@wheatonparks.org

PROJECT: MEMORIAL STAGE
REPLACEMENT CURTAINS & TRACK

Dear Mark:

Using 22/23 oz. IFR Valdosta poly velour, in a color to be selected, box pleats, sewn at 50% added fullness.

One (1) Pair – Main Stage Curtains; webbing, grommets & S hooks, 12" on center, 12" on-stage hem, 2" off-stage hem, 6" bottom hem with weight tape.

One (1) – ADC 280 Silent Steel heavy duty stage curtain tracks; complete with all necessary accessories.

Using 14/15 oz. IFR Valdosta poly velour, in a color Black, box pleats, sewn at 50% added fullness.

Three (3) Panels – Borders; webbing, grommets & ties, 12" on center, 2" side hems, 3" bottom hem with weight tape.

Six (6) Panels – Side Legs; webbing, grommets & ties, 12" on center, 2" side hems, 3" bottom hem with weight tape.

One (1) Pair – Rear Curtains; webbing, grommets & S hooks, 12" on center, 12" on-stage hem, 2" off-stage hem, 6" bottom hem with weight tape

PRICE: \$24,250.00

I appreciate your consideration of this proposal and look forward to a favorable response. If I can be of any further assistance please feel free to call, email or fax your inquiries.

Sincerely,


Dennis Kipnis

Mailing Address: 453 Parkview Terrace, Buffalo Grove, IL 60089

☎ (847) 446-2400 Fax: (847) 446-2453
email: AllstarDrapery@aol.com

North-West Drapery Service, Inc.

4507 N. Milwaukee Avenue, Chicago, IL 60630
(773) 282-7117 Phone / (773) 282-6882 Fax

Wheaton Park District
1777 S. Blanchard Street, Wheaton, IL 60189
ATTN: Mark Wagner
RE: Stage Curtain Quote

05/02/2025

Mark Wagner,

Thank you for your interest in North-West Drapery Service, Inc. and the products and services that we can provide to you at the Wheaton Park District. As per our site visit earlier this week, I am pleased to offer you the following quotation for new curtains, hardware, and a hardware shift on the stage at the Parks building located at 1777 S. Blanchard Street.

Replacement Curtain and Hardware Specifications:

We will remove the curtains, fold them, and set them off to the side for disposal in a Park District provided dumpster.
We will remove the existing front curtain track and set it off to the side for your use or disposal.
We will shift the existing front track support points approximately 8" to allow proper clearance from the projection screen.
We will furnish and install new H&H Specialties 400 series track channel to replace the undersized 100 series front curtain track.
The new track channel will have all necessary accessories for cord draw operation using 3/8" operating line.
Please note that we will need the customer to provide us with a single man lift to use for access to the structure to allow for track movement.
We are not including a lift rental in our prices. If we are unable to use a customer provided lift, we will need to rent one and add it to the final invoice.
We will furnish, fabricate, and install new curtains made in typical stage manner using 50% added fullness sewn into box pleats located 12" on center. The pleats will be held in place with heavy 3" Polypropylene webbing. Grommets will be inserted along the heading in the center of each pleat and at the ends for s-hook or tie line attachment to the existing hanging hardware. All side hems will be 4" with the exception of the leading edge of the front curtain which will be a 12" turn back. All bottom hems will be 6" and all floor length curtains will have an internal pocket containing a continuous length of chain for added weight. We are quoting only inherently flame retardant (IFR from here forward) materials which are all compliant with NFPA 701. IFR synthetic goods will not need retreatment of flame retardancy for the life of the curtains. Cleaning is still recommended (when dust and dirt are visible), but re-application of flame retardant is not necessary.

Replacement Stage Curtain and Hardware Schedule:

Front Setting: 24.5 oz. IFR Charisma Synthetic Velour
1 pair – Front Curtain – color TBD – hung on new 400 series track channel
Rear Setting: 20 oz. IFR Crescent Synthetic Velour
3 pair – Side Leg Curtains – color TBD – hung on existing 300 series track channel
3 each – Border Curtains – color TBD – hung on existing pipe battens
1 pair – Rear Curtain – color TBD – hung on existing 100 series track channel with added carriers and new 3/8" operating line

Your installed price for the above curtain and hardware schedule is... \$27,460.00

As an alternate, using 22 oz. IFR Prism synthetic velour for all curtains, your installed price is... \$24,300.00

As an alternate, if you used 22 oz. Prism for the front and 15 oz. Prism for all other curtains, your price is... \$21,600.00

Thank you for taking the time to review this quotation. If you have any questions or would like to see fabric samples, please feel free to call or email. Thanks again for your time and I look forward to hearing back from you.

Best regards,

Matt Schoeff

email: matt@northwestdrapery.com

North-West Drapery Service, Inc.



Wheaton Park District
1777 S Blanchard Rd
Wheaton, Illinois 60189

5/21/2025

QUOTATION

Drape	Quantity	Colour	Fabric Type
Main	2	Purple	Velour
Valance	0	0	0
Legs	6	Black	Commando
Legs 2	0	0	0
Rears	2	Black	Commando
Border 1	1	Black	Commando
Border 2	1	Black	Commando
Border 3	1	Black	Commando
Border 4	0	0	0
Traveller 1	0	0	0
Traveller 2	0	0	0
Traveller 3	0	0	0
Traveller 4	0	0	0
Scrim	0	0	0
Cyc	0	0	0
Cyc 2	0	0	0

Cost: \$ 29,806.29

Prices do not include applicable taxes. This quotation is valid for 60 days.

Scope of Work

- 1) Remove existing drapery
- 2) Install new drapery
- 3) Provide Certification of compliance as required by the Fire Code

Velour Drapery are 21 oz FR Fabric, Commandos are 16 oz FR Fabric.

All Drapery Complies with CAN/ULC S-109 and NFPA 701

Additional charges may apply for custom colours.

We look forward to working with you on this project.

Regards,
Troy Coleman II
troy@truedryclean.com
(313) 400-6132



TO: Board of Commissioners

FROM: Rob Sperl, Director of Parks and Planning
Steve Hinchee, Superintendent of Planning

THROUGH: Michael Benard, Executive Director

RE: Cosley Hale Family Pavilion & Duck Enclosure – Change Order #6 & #7

DATE: July 2, 2025

SUMMARY:

Change Order #6: A vapor barrier was recommended by the concrete contractor for the duck enclosure and employee areas. Each area is 24' x 24' and has in-slab heating. This will help prevent potential moisture issues in these areas.

Cost: \$1,293.

Change Order #7: Additional plumbing parts and labor were required to connect the above ground and below ground water line sections in the Cow pen. This was done to avoid interfering with the existing floor heating in the Kiebler barn main corridor.

Cost: \$3,273.

PREVIOUS COMMITTEE/BOARD ACTION:

The original contract with E.P. Doyle was approved at the March 5, 2025, board meeting, along with a 10% contingency for this project.

REVENUE OR FUNDING IMPLICATIONS:

The original contract	\$757,503	Approved March 5, 2025
Change Order #1	(\$6,975)	Previously approved – scope changes
Change Order #2	\$5,606	Previously approved – half loads
Change Order #3	\$2,244	Previously approved – ramp rentals
Change Order #4	\$976	Previously approved – ejector pit
Change Order #5	\$2,629	Previously approved – slab removal
Change Order #6	\$1,293	Current recommendation – vapor barrier
Change Order #7	\$3,273	Current recommendation – cow pen plumbing
Total	\$766,549	\$66,704.30 contingency remaining

STAKEHOLDER PROCESS:

Change order #6 was discussed with Commissioner Kelly. Change order #7 was reviewed by our architect Nevin Hedlund.

LEGAL REVIEW:

N/A

ATTACHMENTS:

E.P. Doyle Change Orders #6 & #7.

Email from our architect Nevin Hedlund.

ALTERNATIVES:

N/A

RECOMMENDATION:

Staff recommends the Wheaton Park District Board of Commissioners accept Change Orders #6 & #7 in the total amount of \$4,566 with E.P. Doyle Construction.

**WPD Cosley Zoo Shelter & Duck Enclosure (24
-043)
Extra Work Proposal #008**



Below are the pricing and time requirements to perform the following extra work to the contract:

Vapor Barrier for Interior Concrete Slab

Submittal : #2 06/05/2025

EWP Cost Subtotal	\$1,293.00
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EWP #008 Total Cost:	\$1,293.00
EWP #008 Time Extension :	0 C.D.

Notes : Vapor barrier for the concrete slab was not detailed in the drawings. The structural engineer and architect did not have an opinion on the vapor barrier. Per the recommendation of the concrete contractor, it is recommended at interior slabs.

\$1,152 reflects cost for 24'x24' areas for duck enclosure and 24'x24' storage/employee area. Cost reflects Elliot Construction's proposal dated 6/5/25.

\$12 GL Insurance

\$116 OH&P

\$1280 Subtotal

\$13 P&P Bond

=====

\$1293 Total

To authorize E.P. Doyle & Son, LLC to proceed with this extra work, please acknowledge your acceptance of this proposal by signing and dating below, and we will issue a Change Order in accordance with the Contract provisions.

E. P. Doyle & Son, LLC

Wheaton Park District

By

By

June 6, 2025

Date

Date

Friday, June 6, 2025



Change Order

To: Ryan Christensen	Date: 06/05/25
EP Doyle	Job: Cosley Zoo Duck Enclosure
Phone:	Vapor Barrier Add
email:	Price: \$ 1,152

Description of Work:

-Add vapor barrier under slab to (2) 24' x 24' areas"

1,152 SF x \$1 per SF = \$1,152

Total: \$1,152

DJ Hagen, Estimator

(accepted)

1101 Hill Avenue

Glen Ellyn, Illinois 60137-4860

(630) 469-1823

Fax: (630) 469-1957

**WPD Cosley Zoo Shelter & Duck Enclosure (24
-043)
Extra Work Proposal #010**



Below are the pricing and time requirements to perform the following extra work to the contract:

Domestic Water Supply to Duck Enclosure

Submittal :

EWP Cost Subtotal	\$3,273.00
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EWP #010 Total Cost:	\$3,273.00
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EWP #010 Time Extension :

C.D.

Notes : Additional pipe, fittings and labor were necessary to connect the remaining aboveground section of the domestic water supply to the underground portion leading to the duck enclosure in the cow stable. This was implemented to prevent interference with the radiant floor heating system in the main corridor of the barn.

Cost reflects CW Burns Plumbing's proposal dated 6.2.25.

\$2,917 Sub Subtotal

\$29 GL Insurance

\$295 OHP

\$3,241 Subtotal

\$32 P&P Bond

=====

\$3,273 Total

To authorize E.P. Doyle & Son, LLC to proceed with this extra work, please acknowledge your acceptance of this proposal by signing and dating below, and we will issue a Change Order in accordance with the Contract provisions.

E. P. Doyle & Son, LLC

By

June 2, 2025

Date

Wheaton Park District

By

Date

Monday, June 2, 2025



1536 BROOK DR. SUITE E DOWNERS GROVE, IL 60515
Ph (630) 629-5850 www.cwburnsco.com

CHANGE ORDER PROPOSAL

TO: E.P. Doyle & Son, LLC
1100 Wheaton Oaks Court
Wheaton, IL 60187

CO NO: 1601-05

PROJECT: WPD Cosley Zoo Shelter & Duck Enclosure
1356 North Gary Ave.
Wheaton, IL 60187

DATE: June 2, 2025

AMOUNT: \$ 2,916.86

Description: Domestic Water Supply to Duck Enclosure

Additional pipe, fittings, and labor necessary to connect the remaining aboveground section of the domestic water supply to the underground portion leading to the duck enclosure in the cow stable, to prevent interference with the radiant floor heating system in the main corridor of the Barn.

QTY	DESCRIPTION	EACH	TOTAL
Labor			
16	Hrs. Journeyman Plumber	\$123.85	\$1,981.60
Material			
1	1" Propress Ball Valve	\$59.51	\$59.51
1	1" Propress Tee	\$18.81	\$18.81
4	1" Propress 90	\$12.13	\$48.52
1	1" X 3/4" Propress Tee	\$20.72	\$20.72
1	3/4" Propress FIP Adapter	\$9.06	\$9.06
1	3/4" Boiler Drain (For Winterizing)	\$7.07	\$7.07
30	Feet of 1" Copper Type L	\$6.76	\$202.80
1	Hangers & Supports	\$25.00	\$25.00
10	Additional Feet of 1" Copper Type K - UG Portion	\$27.86	\$278.60
SUB TOTAL			\$2,651.69
10% OH & P			\$265.17
TOTAL			\$2,916.86

Re: Cosley Zoo Duck Enclosure EWP's: Vapor Barrier, Domestic Water Supply, 4070 Door



Nevin Hedlund <nhedlund@hedlundarchitects.com>
To Brian Morrow

 You replied to this message on 6/6/2025 11:33 AM.

Yes.

NEVIN HEDLUND, AIA

NEVIN HEDLUND ARCHITECTS, INC.

7985 LAKE ST.

RIVER FOREST, IL 60305

V 708.771.7117


F 708.771.7124

hedlundarchitects.com

"Like" us on facebook

On Jun 6, 2025, at 11:17 AM, Brian Morrow <BMorrow@wheatonparks.org> wrote:

Does the cost seem reasonable?

 Brian Morrow | Planner
630.510.4975 Ofc
630.251.2122 Cell
| wheatonparkdistrict.com

From: Nevin Hedlund <nhedlund@hedlundarchitects.com>
Sent: Friday, June 6, 2025 10:38 AM
To: Brian Morrow <BMorrow@wheatonparks.org>
Subject: FW: Cosley Zoo Duck Enclosure EWP's: Vapor Barrier, Domestic Water Supply, 4070 Door

Brian: Please see comments from RTM below. Thanks.

NEVIN HEDLUND, AIA

NEVIN HEDLUND ARCHITECTS, INC.
30 North Wolf Road, Second Floor
Hillside, Illinois 60162
V 708 771.7110

hedlundarchitects.com

From: Salvador Ligan <salvador.ligan@rtmec.com>
Sent: Thursday, June 5, 2025 1:42 PM
To: Nevin Hedlund <nhedlund@hedlundarchitects.com>
Subject: Re: Cosley Zoo Duck Enclosure EWP's: Vapor Barrier, Domestic Water Supply, 4070 Door

Nevin,

No further comments. The re-routing appears to be necessary to avoid interference with the existing radiant heater in the barn.

Salvador Ligan, PE | Senior Mechanical Engineer

Direct 847.713.1018 | Main 847.756.4180

salvador.ligan@rtmec.com

1933 N. Meacham Road | Suite 700 | Schaumburg, IL 60173

WHEATON PARK DISTRICT CHANGE ORDER

Project: Cosley Hale Family Pavillion & Duck Enclosure

Change Order No.: 6 & 7

To: E.P. Doyle & Son, LLC

Change Order Date: 6/24/25

Attn: Tim Doyle
1100 Wheaton Oak Ct.
Wheaton, IL 60187

Contract Date: 3/7/25

Contract For: Cosley Hale Family Pavillion & Duck Enclosure

You are directed to make the following changes in this Contract:

- Change Order #6: Furnish and install approximately 1,152 sq ft of vapor barrier in the duck enclosure and employee areas.

Cost: \$1,293.

- Change Order #7: Furnish and install additional plumbing hardware in the cow pen to connect the above ground and underground water lines.

Cost: \$3,273.

Add to the Contract:

\$4,566

The original Contract Sum was	\$757,503
Net Change by previous Change Orders	\$4,480
The Contract Sum prior to this Change Order.....	\$761,983
The Contract Sum will be increased by this Change Order.....	\$4,566
The new Contract Sum including this Change Order will be	\$766,549
The Contract Time will not be changed	0
The Date of Completion as of the date of this Change Order therefore is	unchanged

Wheaton Park District

E.P. Doyle & Son, LLC

Owner

Contractor

102 East Wesley Street
Wheaton, IL 60187

1100 Wheaton Oak Ct.
Wheaton, IL 60187

Address

Address

Michael J. Benard, Executive Director

Signature – Tim Doyle

TO: Board of Commissioners

FROM: Rob Sperl, Director of Parks and Planning
Steve Hinchee, Superintendent of Planning

THROUGH: Michael Benard, Executive Director

RE: Cosley Parking Lot – Change Order #4

DATE: July 2, 2025



SUMMARY:

During excavation for the sidewalks and curb at the Cosley parking lot, it was determined that the area contained poor soil. To remedy the issue, the soil had to be excavated and hauled away and new stone had to be installed in the area.

PREVIOUS COMMITTEE/BOARD ACTION:

The original contract with E.P. Doyle was approved at the October 23, 2024, board meeting, along with a 10% contingency for this project. Previous change orders were approved as outlined in the table below.

REVENUE OR FUNDING IMPLICATIONS:

The original contract	\$1,999,599.00	Approved October 23, 2024
Change Order #1	\$5,158.34	Approved January 15, 2025
Change Order #2	-\$2,300.00	Approved March 19, 2025
Change Order #3	\$4,202.30	Approved May 21, 2025
Change Order #4	\$6,416.23	Current recommendation
Total	\$2,013,075.87	\$186,483.03 contingency remaining

STAKEHOLDER PROCESS:

Zoo staff continues to be involved throughout the construction.

LEGAL REVIEW:

N/A

ATTACHMENTS:

E.P. Doyle Change Order 4.
Wight C.O. approval letter.

ALTERNATIVES:

N/A

RECOMMENDATION:

Staff recommends the Wheaton Park District Board of Commissioners approve Change Order #4 in the amount of \$6,416.23 with E.P. Doyle Construction.

Cosley Zoo Parking Lot (24-032)
Extra Work Proposal #005



Below are the pricing and time requirements to perform the following extra work to the contract:

West Parking Lot Undercuts

Submittal :

EWP Cost Subtotal		\$5,718.00
GL Insurance	1.00%	\$57.18
Overhead and Profit	10.00%	\$577.52
P&P Bond	1.00%	\$63.53

EWP #005 Total Cost:	\$6,416.23
EWP #005 Time Extension :	

C.D.

Notes : Scope of work included undercutting west lot curbs and sidewalk down 12" and added in CA-1 stone.

Kellenberger had one day figured for the existing west lot work and they completed all of their contract work on day one. The undercut work resulted in a separate 8-hour dedicated day due to how tight and careful they had to be with working on existing pavers, working around an existing utility, and keeping the entrance and access open. There was no other contract work to be done at that time. Therefore the unit cost could not be utilized for this cost impact.

Labor:

Foreman 8 hours at \$160 = \$1,280
Operator 8 hours at \$155 = \$1,240
Truck Driver/Semi 4 hours at \$150 = \$600
Sub total \$3,120

Equipment:

Excavator 8 hours at \$137 = \$1,096

Material:

2 loads of 3" stone at \$5.78/load = \$1,156
2 loads of dirt haul off at \$173/load = \$346
Subtotal: \$1,502

Labor, Equipment, and Material Subtotal: \$5,718

GL Insurance: \$57.18
Overhead and Profit: \$577.52
P&P Bond: \$63.53

\$6,416.23

Cosley Zoo Parking Lot (24-032)
Extra Work Proposal #005



To authorize E.P. Doyle & Son, LLC to proceed with this extra work, please acknowledge your acceptance of this proposal by signing and dating below, and we will issue a Change Order in accordance with the Contract provisions.

E. P. Doyle & Son, LLC



By

May 19, 2025

Date

Wheaton Park District - Cosley Zoo

By

Date

Wight & Co.

By

Date

Monday, May 19, 2025



EXCAVATION | SITE UTILITIES

Kellenberger, Inc. | 37W507 Big Timber Rd. Elgin, IL 60124

P: 847.742.4385 | W: kellenbergerinc.com

Date: 5/2/2025
 Project: Cosley Zoo
 Location: Wheaton, IL
 General Contractor: EP Doyle & Son
 Attention: Tom Grotts

Change Order: 4

Scope: Excavation

Description:

Work completed 4/22/25: Undercut west lot curbs and sidewalk down 12" and add in CA1. Due to how tight and slow going this is, we need to charge labor and materials for this.

Labor	Hours	Rate	Extension
Foreman	8.0	\$ 160.00	\$ 1,280.00
Operator	8.0	\$ 155.00	\$ 1,240.00
Truck driver and semi onsite	4.0	\$ 150.00	\$ 600.00
			\$ -
			\$ -
		Sub-total	\$ 3,120.00

Equipment	Hours	Rate	Extension
Excavator	8.0	\$ 137.00	\$ 1,096.00
			\$ -
			\$ -
			\$ -
			\$ -
		Sub-total	\$ 1,096.00

Material	Qty	Units	Unit Price	Extension
2 loads of 3"	2	EA	\$ 578.00	\$ 1,156.00
2 loads of dirt haul off	2	EA	\$ 173.00	\$ 346.00
				\$ -
				\$ -
				\$ -
		Sub-total		\$ 1,502.00

TOTAL	\$ 5,718.00
--------------	--------------------

ACCEPTANCE OF CHANGE ORDER: The above prices, specifications and conditions are satisfactory and are hereby accepted.

Authorized Signature _____
 Printed Name _____
 Company _____

Date _____

WHEATON PARK DISTRICT CHANGE ORDER

Project: Cosley Parking Lot

Change Order No.: 4

To: E.P. Doyle & Son, LLC

Change Order Date: 6/25/25

Attn: Tim Doyle
1100 Wheaton Oak Ct.
Wheaton, IL 60187

Contract Date: 10/23/24

Contract For: Cosley Parking Lot

You are directed to make the following changes in this Contract:

Excavate and remove poor soils and add stone to facilitate installation of sidewalks and curb in the parking lot.

Add to the Contract:

\$6,416.23

The original Contract Sum was	\$1,999,599.00
Net Change by previous Change Orders	\$7,060.64
The Contract Sum prior to this Change Order	\$2,006,659.64
The Contract Sum will be increased by this Change Order	\$6,416.23
The new Contract Sum including this Change Order will be	\$2,013,075.87
The Contract Time will not be changed	0
The Date of Completion as of the date of this Change Order therefore is	unchanged

Wheaton Park District

E.P. Doyle & Son, LLC

Owner

Contractor

102 East Wesley Street
Wheaton, IL 60187

1100 Wheaton Oak Ct.
Wheaton, IL 60187

Address

Address

Michael J. Benard, Executive Director

Signature – Tim Doyle



June 25th, 2025

Rob Sperl / Steve Hinchee
Wheaton Park District

MEMORANDUM
Cosley Zoo Parking Lot
Change Order #4 / Extra Work Proposal 5 Review

Dear Mr. Sperl,

Wight is in receipt of EP Doyle Change Order #4 / Extra Work Proposal 5. The associated change order was required due to poor soils requiring undercuts beneath the west parking lot curbs and sidewalks. The scope was to undercut the poor soils down 12" and replace with CA-1 stone. The undercut work required an additional full work day for a foreman and operator utilizing an excavator and a half work day for a truck driver hauling materials. The total undercut quantity required two loads of dirt to be hauled off and two loads of stone to be hauled in. Wight recommends approval for the cost of this work, which totaled \$6,416.23. Please reach out with any question.

Respectfully submitted,

Wight & Company

A handwritten signature in black ink, appearing to read "Shawn Benson".

Shawn Benson, P.E.
Director

Cosley Zoo Parking Lot (24-032)
Extra Work Proposal #005



Below are the pricing and time requirements to perform the following extra work to the contract:

West Parking Lot Undercuts

Submittal :

EWP Cost Subtotal		\$5,718.00
GL Insurance	1.00%	\$57.18
Overhead and Profit	10.00%	\$577.52
P&P Bond	1.00%	\$63.53

EWP #005 Total Cost:	\$6,416.23
-----------------------------	-------------------

EWP #005 Time Extension :

C.D.

Notes : Scope of work included undercutting west lot curbs and sidewalk down 12" and added in CA-1 stone.

Kellenberger had one day figured for the existing west lot work and they completed all of their contract work on day one. The undercut work resulted in a separate 8-hour dedicated day due to how tight and careful they had to be with working on existing pavers, working around an existing utility, and keeping the entrance and access open. There was no other contract work to be done at that time. Therefore the unit cost could not be utilized for this cost impact.

Labor:

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Sub total \$3,120

Equipment:

Excavator 8 hours at \$137 = \$1,096

Material:

2 loads of 3" stone at \$5.78/load = \$1,156
2 loads of dirt haul off at \$173/load = \$346
Subtotal: \$1,502

Labor, Equipment, and Material Subtotal: \$5,718

GL Insurance: \$57.18
Overhead and Profit: \$577.52
P&P Bond: \$63.53

\$6,416.23

Cosley Zoo Parking Lot (24-032)
Extra Work Proposal #005



To authorize E.P. Doyle & Son, LLC to proceed with this extra work, please acknowledge your acceptance of this proposal by signing and dating below, and we will issue a Change Order in accordance with the Contract provisions.

E. P. Doyle & Son, LLC



By

May 19, 2025

Date

Wheaton Park District - Cosley Zoo

By

Date

Wight & Co.



By

06-25-2025

Date

Monday, May 19, 2025



EXCAVATION | SITE UTILITIES

Kellenberger, Inc. | 37W507 Big Timber Rd. Elgin, IL 60124

P: 847.742.4385 | W: kellenbergerinc.com

Date: 5/2/2025
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Change Order: 4

Scope: Excavation

Description:

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Labor	Hours	Rate	Extension	
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Truck driver and semi onsite	4.0	\$ 150.00	\$ 600.00	
			\$ -	
			\$ -	
		Sub-total	\$ 3,120.00	
Equipment	Hours	Rate	Extension	
Excavator	8.0	\$ 137.00	\$ 1,096.00	
			\$ -	
			\$ -	
			\$ -	
			\$ -	
		Sub-total	\$ 1,096.00	
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2 loads of 3"	2	EA	\$ 578.00	\$ 1,156.00
2 loads of dirt haul off	2	EA	\$ 173.00	\$ 346.00
				\$ -
				\$ -
				\$ -
			Sub-total	\$ 1,502.00
			TOTAL	\$ 5,718.00

ACCEPTANCE OF CHANGE ORDER: The above prices, specifications and conditions are satisfactory and are hereby accepted.

Authorized Signature _____
Printed Name _____
Company _____

Date _____

TO: Board of Commissioners

FROM: Rob Sperl, Director of Parks and Planning
Steve Hinchee, Superintendent of Planning

THROUGH: Michael Benard, Executive Director

RE: 2025 Arrowhead Driving Range Improvements

DATE: July 2, 2025



SUMMARY:

Driving ranges outfitted with ball-flight tracking technology and food & beverage service are a rapidly growing trend in the golf industry. The Wheaton Park District wishes to proceed with the development and execution of plans to make the following improvements to its driving range at Arrowhead:

Driving Range	Enclosures for tees with heat by Cover the Tees or equal Top Tracer technology Lighting Connection to support facility Redesign & expansion of current short-game practice area
Support Facility	Appropriately sized bar & grill area Indoor/ outdoor seating for customers to wait Restrooms Designed and situated to preserve views of the golf course from the clubhouse Ball Machine Range ball cleaning & storage area
Access Route	Route through clubhouse building vs. east side of building Route improvements and wayfinding signage

The Sanctuary Golf Course in New Lenox and Prairie Bluff Golf Course in Lockport are two facilities that staff from Arrowhead have visited which offer similar range setups that we are looking to replicate. Features of these facilities that staff would like to see at Arrowhead include:

- 24 individual covered & heated-hitting bays equipped with Toptracer technology
- Seating areas for each hitting bay. Close access to food & beverage and restrooms
- Upgraded space and equipment for range ball storage, cleaning, & ball machine resupply
- Enclosed space for the Toptracer server
- Improvements to the existing short-game practice area and expanding seating areas around the driving range to improve capacity during high-demand times
- Improving the area's natural landscape.

A Request for Proposals (RFP) was sent to five architectural firms on April 4, 2025, to aid in the development of concept plan and cost estimates suitable for a grant submittal. The following is a summary of proposals that were received on April 25, 2025.

Firm	Schematic Design Fee	Bid/Construction Fee	Reimbursables	Est. Total Contract	Experience
FGMA Architects	\$23,500 <u>Optional Additional Services</u> Site Survey \$4,840 Private Utility Locate \$2,000	+ 7% A&E Fee \$140,000 estimated* Civil Engineering (WMA) \$20,000 - \$40,000 Landscape Design (TBD) \$5,000 - \$8,000 Golf Course Design (G. Martin) \$7,000-\$12,000 Food Service Design (TBD) \$10,000 - \$15,000	None listed Stated that no reimbursable expenses are expected for this project.	\$163,500 Estimated Optional Additional Services + \$48,840 To + \$81,840	Extensive golf club experience Arrowhead Clubhouse Rice existing condition audit
Nevin Hedlund Architects	\$56,571 ^{large} \$49,021 ^{small}	\$169,390 ^{large} \$149,140 ^{small} <u>Optional Additional Services</u> Plat of Survey \$18,500 Record Civil Drawings \$5,000 Food Service Programming \$2,500	\$5,000	\$230,961 ^{large} \$203,161 ^{small} Optional Additional Services + \$26,000	Numerous restaurant & event venues Hale Pavillion Cosley restrooms Locker rooms at Rice & Northside
Studio GC	\$6,700	\$68,300**	None listed	\$75,000	St. Andrews AGC Chem Bldg.
Williams Architects	\$29,000	+ 9.25% A&E Fee \$185,000 estimated*	1.15 multiplier None listed	\$225,000 Estimated	Extensive golf club experience Community Center

*Assumes project construction costs of \$2,000,000

**Assumes project construction costs of \$1,100,000 not including Cover the Tees

^{Large} Assumes project construction costs of \$3,000,000 to \$3,500,000

^{Small} Assumes project construction costs of \$2,100,000 to \$2,400,000

FGMA Architects has performed work for the district in the past, and principal was involved with original design of Arrowhead clubhouse. The subconsultants they will be working with also have experience with Arrowhead.

PREVIOUS COMMITTEE/BOARD ACTION:

N/A

REVENUE OR FUNDING IMPLICATIONS:

\$250,000 is budgeted for driving range improvements in 2025.

STAKEHOLDER PROCESS:

Arrowhead staff has been involved throughout the process.

LEGAL REVIEW:

N/A

ATTACHMENTS:

Proposal from FGMA Architects

ALTERNATIVES:

N/A

RECOMMENDATION:

Staff recommends the Wheaton Park District Board of Commissioners approve the proposal in the amount not to exceed \$23,500 from FMGA Architects for the 2025 Arrowhead Driving Range Improvements concept design.

WHEATON PARK DISTRICT/ARROWHEAD GOLF COURSE

2025 Arrowhead Driving Range Improvements
April 25, 2025

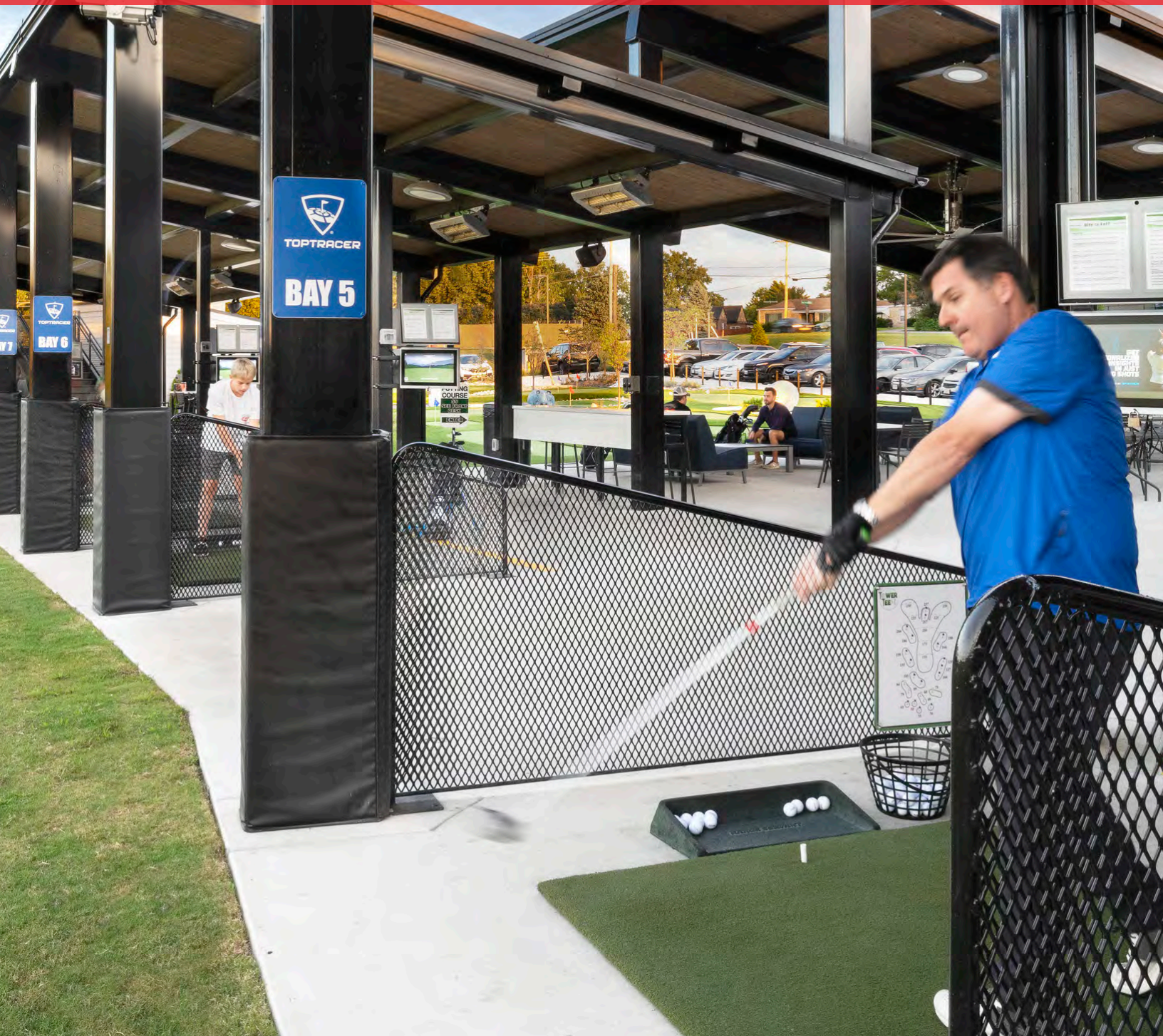




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SECTION

1

Introduction letter





April 25, 2025

Mr. Steve Hinchee
Wheaton Park District | Arrowhead Golf Course
26W151 Butterfield Road
Wheaton, Illinois 60189

Re: 2025 Arrowhead Driving Range Improvements

Dear Mr. Hinchee and Selection Committee,

The new revenue potential of driving ranges is transforming the golf industry, and therefore, a critical component to the Arrowhead Golf Course. As an award-winning architectural firm with a keen understanding of the unique requirements of golf course facilities, FGM Architects Inc. (FGMA) is well-equipped to bring your vision to life - bringing innovative solutions that seamlessly integrate and optimize operational efficiency, and foster a superior experience for visitors and staff alike.

Understanding the importance of both functionality and visual appeal in such a project, our team is committed to delivering a design that not only meets but exceeds your expectations. FGMA's specialists have extensive experience with golf clubhouses, including additions, expansions, and the full range of amenity spaces within and around them—such as racquet sports, fitness, aquatic facilities, and practice facilities. Our team will work closely with you to understand your specific needs, preferences, and budgetary constraints to create a design that is tailor-made for your facility at Arrowhead Golf Course.

- **Tailored Design Solutions** – FGMA specializes in facilities that support club operations. We understand that modern driving ranges—especially those with technologies like Toptracer and premium enclosures—are significant investments. Protecting that investment through efficient operations, maintenance, and support amenities like F&B areas, restrooms, and equipment storage is essential to long-term success.

We also recognize the importance of a seamless guest experience, blending hospitality and play while addressing environmental impacts and operational efficiency. These improvements go beyond physical upgrades—they're strategic enhancements that elevate the facility, engage users, and drive revenue.

- **Seamless Integration** – Our goal is to seamlessly integrate the upgraded driving range and support facility into the Arrowhead Golf Course landscape—carefully considering orientation, access, and views to enhance the guest experience while preserving the course's natural beauty and character.
- **Collaborative Approach** – Effective communication and collaboration are essential for the success of any project. Our team will work closely with you and your stakeholders every step of the way to ensure that quality and aesthetics remain a constant focus so that your vision is realized and your goals are met.

We are excited for the opportunity to partner with the Wheaton Park District and Arrowhead Golf Course.

We understand that the Wheaton Park District is seeking full architectural services for the Arrowhead Driving Range Improvements project. The scope includes the design of covered hitting bays incorporating ball-tracing technology, a new support facility with food and beverage service and restrooms, and



enhancements to the access route and wayfinding. Our work will involve evaluating existing conditions, developing and refining design concepts, preparing permit- and bid-ready construction documents, providing detailed cost estimates, securing necessary permits, supporting the bidding process, and participating in construction observation. We are fully prepared to deliver a thoughtful, cohesive solution that supports the District's goals and enhances the user experience at Arrowhead Golf Course.

We are confident that our expertise, creativity, and dedication make us the ideal partner for your project and welcome the opportunity to discuss your vision in more detail and explore how we can bring it to life together.

Sincerely,

A handwritten signature in black ink, appearing to read "Dan Nicholas".

Dan Nicholas, AIA
Principal-in-Charge
DanNicholas@fgmarchitects.com
30.576.1086

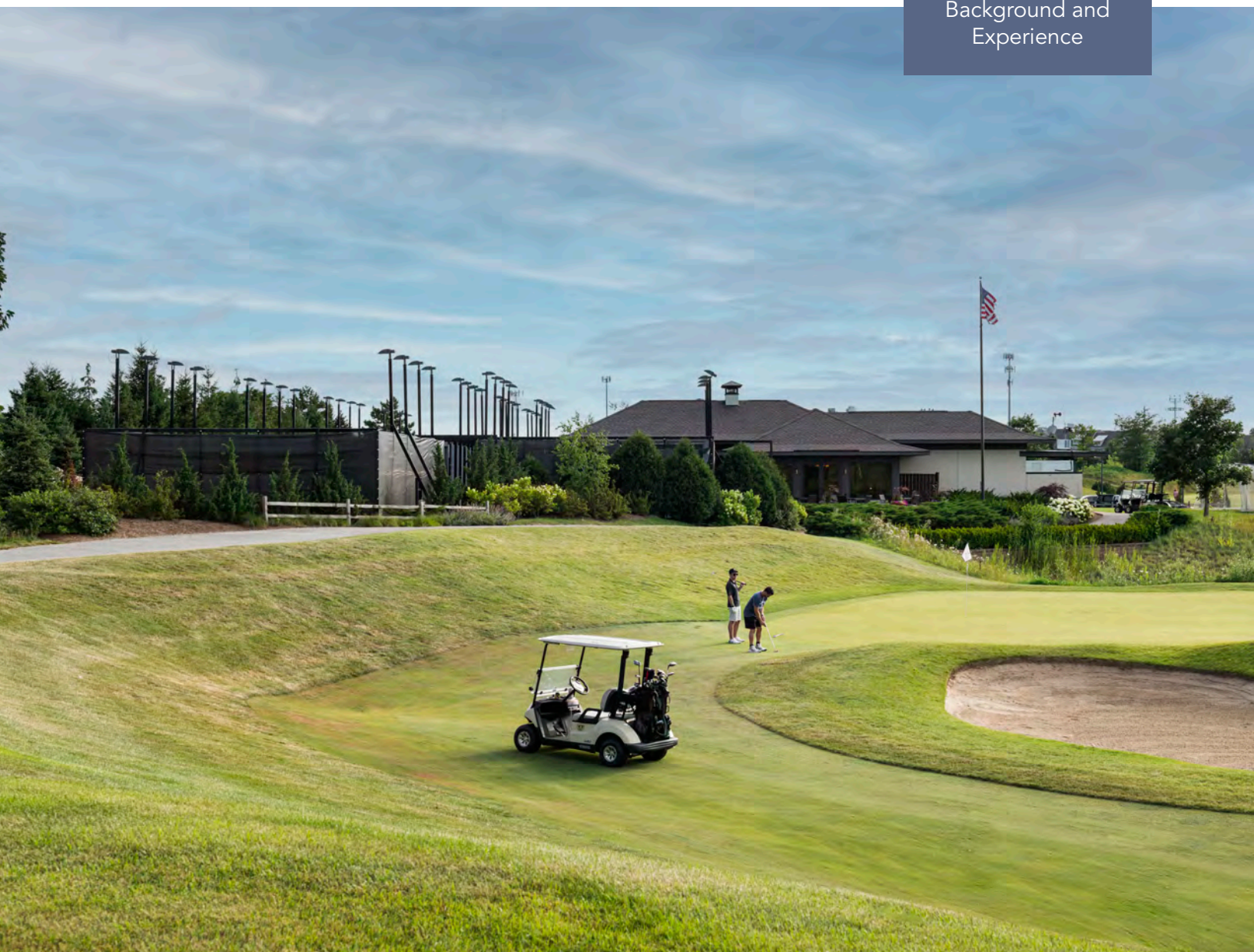
A handwritten signature in black ink, appearing to read "John Dzarnowski".

John Dzarnowski, AIA
Chief Executive Officer
JohnDzarnowski@fgmarchitects.com
630.368.8319

SECTION

2

Background and
Experience





In collaboration with our clients, we create buildings that are inclusive, environmentally responsible and true to their surroundings.

For more than 30 years, FGMA has been leading the conversation about recreation architecture.

We create timeless and inspiring golf clubhouses that serve as the heart of the golfing community - blending elegance, functionality and sustainability to enhance every aspect of the golfing experience.

FIRM NAME

FGM Architects Inc. (FGMA)

PROJECT OFFICE LOCATION

1 Westbrook Corporate Center, Suite 1000
Westchester, Illinois 60154
630.574.8300

FGMA specializes in the design and development of exceptional golf clubhouses. With a deep understanding of the unique culture and requirements of the golfing community, we combine architectural innovation with functional excellence to create iconic spaces that elevate the golfing experience.

Our in-house team of architects and interior designers is dedicated to delivering specialized solutions that reflect the unique identity and spirit of each club and exceed the expectations of both members and guests.

We value the input of the golfing community and actively engage club members and stakeholders in the design process, fostering a sense of ownership and pride in the final product.

Our diverse portfolio of projects includes clubhouse design for prestigious championship golf courses, resort-style clubhouses, historic renovations and community golf centers.



RECREATION CLIENTS

Abbey Springs Golf Club	East Saint Louis Park District	Northeast DuPage Special Recreation Association
Addison Park District	Elgin Country Club	Oak Brook Park District
Bartlett Park District	Elk Grove Park District	Oak Lawn Park District
Bensenville Park District	Geneva Park District	O'Fallon, Missouri Parks and Recreation
Bloomington Park District	Glen Ellyn Park District	Oregon Park District
Bolingbrook Park District	Glendale Lakes Golf Club	Palatine Park District
Buffalo Grove Golf Course	Glenview Park District	Park District of Franklin Park
Buffalo Grove Park District	Glenview Park Golf Club	Park Ridge Park District
Cantigny Golf Club	Grayslake Community Park District	Rend Lake Conservancy
Chicago 16" Softball Hall of Fame	Gurnee Park District	River Forest Park District
Chicago Ridge Park District	Hanover Park District	Rockford Park District
City of Alton	Hinsdale Golf Club	Rolling Meadows Park District
City of Altoona	Hodgkins Park District	Roselle Park District
City of Countryside	Hoffman Estates Park District	Rosemont Park District
City of Crestwood	Huntley Park District	Round Lake Area Park District
City of Crystal Lake	Itasca Park District	Salt Creek Rural Park District
City of Edwardsville	Jersey Village, City of	Schaumburg Park District
City of Elgin	Joliet Park District	Schiller Park Recreation Department
City of Fairview Heights	KemperSports Management / City of Dinuba	Sterling Park District
City of Farmington	Kishwaukee Family YMCA	Streamwood Park District
City of Georgetown	Lake Bluff Park District	The First Tee of Greater Austin
City of Highland	Lake County Forest Preserve	Tower Tee
City of Mascoutah	Lincolnwood Parks & Recreation	Town of Cicero Recreation Department
City of McHenry Recreation Department	Lindenhurst Park District	Village of Glencoe
City of Mt. Vernon Parks Department	Lockport Township Park District	Village of Lincolnwood
City of O'Fallon, Illinois	M-14 Hoops	Westchester Park District
City of Pflugerville	Morton Grove Park District	Wheaton Park District
City of Salem	Mt. Prospect Park District	Winnetka Park District
City of St. Peters	Mundelein Park and Recreation District	Wood Dale Park District
Clarendon Hills Park District	New Lenox Park District	
County of Loudoun, Virginia	Niles Park District	
Deerfield Park District	Norridge Park District	
DeKalb Park District	North Berwyn Park District	
Des Plaines Park District	Northbrook Park District	



CLIENT
Arlington Heights
Park District

SIZE
10,596 sf

COMPLETED
07/2016

REFERENCE
Mr. Benjamin Rea
Director of Parks and Planning
847.506.7145
brea@ahpd.org

Modernizing a Destination Facility

ARLINGTON LAKES GOLF CLUBHOUSE

In 2015, the Arlington Heights Park District commissioned FGM Architects to design an interior renovation of its Golf Clubhouse that would complement the recently completed renovation of the Arlington Lakes Golf Course.

FGMA, partner to the Park District since 2009, collaborated closely with Arlington Heights staff to create an aesthetically pleasing, functional design that aligned with budget limitations.

The renovation included the clubhouse's Pro Shop, lounge, and banquet halls with integrated dance floors. The modernized clubhouse features ADA-accessible bathrooms.

In addition to renovating the facilities, FGMA staff also helped curate the artwork for the updated Clubhouse and advised on optimizing staging in the Pro Shop.



CLIENT
Glenview Prairie Club

SIZE
2,600 sf

COMPLETED
04/2013

REFERENCE
Mr. Ron Cassidy
Director of Golf
224.521.2206
Ron.Cassidy@glenviewparks.org

New Clubhouse is Social Center Year-Round

GLENVIEW PRAIRIE CLUB GOLF & PADDLE

The site was originally designed for a 9-hole golf course, but after 10 years of operating out of a trailer they wanted to use the facility year-round and added platform tennis. The design team had a challenge conforming the golf course clubhouse into a six court platform tennis facility and paddle hut.

This year-round, public facility features a four-court platform tennis complex (Phase I) and two years later complemented the facility with two additional courts (Phase II). The state-of-the-art clubhouse serves tennis players and golfers alike. Hipped rooflines and simple, horizontal forms visually connect the main building to the various fenced and gated exterior areas. The club includes an indoor viewing area of the paddle courts, an outdoor deck overlooking the golf course, a bar with large screen TVs, a fireplace and a pro shop.



CLIENT
City of St. Peters

SIZE
27,000 sf

COMPLETED
09/2019

REFERENCE
Mr. Dan Emrick
Manager of Parks &
Recreation Services
636.397.2227
demrick@stpetersmo.net

Clubhouse Becomes A Multi-Use Facility

GOLF CLUBHOUSE & BANQUET CENTER

In 2016, voters in St. Peters approved a bond referendum to transform a major civic asset – an 18-hole municipal golf course whose aging clubhouse had outlived community needs. The new 27,000 sf St. Peters Golf Clubhouse is the result of their forward-thinking action.

FGMA's design of the new Golf Clubhouse builds on abundant natural beauty to maximize the experience of golfers as well as community members who use the new facility for dining, meeting, hospitality and celebratory purposes.

From the point of entry to the Golf Club, visitors experience a welcoming atmosphere that includes an expanded parking lot and covered entrance to facilitate guest drop-off. The Clubhouse's long, narrow design embraces the edge of a scenic 13-acre lake with a veranda and terrace that overlook the 18th hole of the golf course.

Neighboring homeowners enjoy looking out on an active golf course, while appreciating that the Clubhouse blocks both the noise and view of a nearby interstate highway. Enclosed storage for utilities and waste preserves the quality of the outdoor environment.



The Clubhouse is sited to incorporate existing golf cart paths as well as planned GRG trail improvements. The main level of the Clubhouse includes an expanded Pro Shop with the Putting Green located just outside. Caddy's Bar & Grill (which includes outdoor seating) satisfies golfers' appetites as well as casual diners dropping in for a drink or burger. A covered outdoor pavilion (with restrooms and catering facilities) adjacent to the Clubhouse accommodates up to 150 people attending Golf Tournaments and other outdoor events.

Water's Edge: A Social and Business Destination The centerpiece of the new Golf Clubhouse is Water's Edge, a banquet and hospitality center featuring three salons which, alone or in combination, can host up to 350 people. In addition, a spacious and graciously appointed pre-function room will serve as a cocktail or reception area. In seasonable weather, visitors will have the option of gathering on the outside veranda. Overall, the flexible interior design of the Clubhouse includes catering, cooking and dining facilities that are customizable for weddings, business functions, sales and training conferences, fundraising galas, school reunions, community trivia nights and more.

Revenues from golf operations, Caddy's Bar & Grill and Water's Edge, are projected to sustain ongoing operations and maintenance.

**CLIENT**

City of Jersey Village/
Jersey Meadow Golf Course

SIZE

8,500 sf

COMPLETED

04/2024

REFERENCE

Mr. Robert Basford
Parks and Recreation Director
713.466.2100
rbasford@jerseyvillagetx.com

A Renaissance for Jersey Meadow Golf Course

JERSEY VILLAGE CLUBHOUSE AND CONVENTION CENTER

In 2024, Jersey Village residents celebrated the opening of a new golf clubhouse and separate events space at the Jersey Meadow Golf Course, a popular destination for golfers and the larger community. City of Jersey Village leaders selected FGMA as its design partner for these new facilities that will enhance the value of this 18-hole municipal golf course nestled among groves of mature live oak trees.

The new clubhouse replaces an outmoded 1980s building and will feature a fully equipped bar and grille with seating for 75 plus 18 bar seats; an outdoor patio as well as restrooms, office and storage spaces and locker rooms with showers. Golfers will welcome the 940-sf pro shop and two indoor hitting simulator bays that can be used for lessons, indoor leagues and golf rounds and community events.

Jersey Meadow's old clubhouse was converted to a convention/all-purpose events center that will accommodate up to 250 guests. The interior includes a multipurpose room that can be used for dining, dancing and other activities; a catering kitchen and enclosed rooms that can be used by bridal parties. Outside, an expansive covered patio can be used throughout the year. Exterior renovations include a new roof, entry portal and canopy.

SECTION

3

Personnel/Professional
Qualifications



KEY PERSONNEL

FGMA provides Wheaton Park District with a team focused in recreational design who will deliver your projects on time and on budget.

We offer you individuals with a proven record of experience who are committed to ensuring that your project will be of a highly distinctive quality.

FGMA has developed a Principal-led team dedicated to Wheaton Park District. We anticipate that this team will work together on all projects.

PROFESSIONAL STAFF

In addition to the staff proposed for this project, FGMA offers the full resources of the firm. Our team of professionals is available to support all of your projects.





ORGANIZATION CHART



Wheaton Park District

PRINCIPAL-IN-CHARGE

Daniel T. Nicholas, AIA

PROJECT MANAGER

Bradley Kropp, RA

PROJECT ARCHITECT

Kyle Bares, AIA, CDT

CONSULTANTS

Martin Design Partnership, Ltd.

Golf Subject Matter Experts

Webster McGrath Alberg

Civil Engineering /Survey

EP Doyle

Construction Manager / 3rd Party Estimating



DANIEL T. NICHOLAS, AIA

Principal & Senior Associate

"I design spaces to attract people and promote operational efficiencies."

Dan has experience in the recreation arena creating award winning recreation centers, aquatic parks and golf course clubhouse facilities. With 38 years of experience, he is a recognized leader in clubhouse and amenity design resulting in over 80 golf related projects across the country.

EDUCATION

BA in Architecture | Iowa State University

LICENSES & CERTIFICATIONS

Registered Architect | Illinois

National Council of Architectural Registration
Boards Certificate

MEMBERSHIPS

American Institute of Architects

Urban Land Institute

National Golf Foundation

Chicago District Golf Foundation

Rotary Club of Central DuPage

THOUGHT LEADERSHIP

Illinois Parks and Recreation Association

Great Chicago Club Managers Association of
America GCCMA

Midwest Regional Educational Forum

PROJECT ROLE

Principal-in-Charge

EXPERIENCE

ANTIOCH GOLF CLUB, IL

Clubhouse *NEW*

ARROWHEAD GOLF CLUB, IL

Clubhouse and Turnstand *NEW*

BOWES CREEK

COUNTRY CLUB, IL

Clubhouse *NEW*

Turf Care Center *NEW*

Turnstand *NEW*

BOUGHTON RIDGE GOLF CLUB, IL

Clubhouse *NEW*

BONNIE BROOK GOLF CLUB, IL

Bar and Pro Shop *RENOVATION*

CANTIGNY GOLF CLUB, IL

Locker Room *ADDITION*

Bar and Dining Room *ADDITION*

Banquet Room *RENOVATION*

Instructional Golf Academy *NEW*

Event Center *STUDY*

DEERFIELD GOLF CLUB, IL

Bar and Pro Shop *RENOVATION*

FINKBINE GOLF CLUB, IA

Clubhouse *NEW*

GLENCOE GOLF CLUB, IL

Golf Clubhouse *NEW*

GLENVIEW PARK GOLF CLUB, IL

Golf Club *RENOVATION*

GLENVIEW PRAIRIE CLUB GOLF

AND PADDLE, IL

Clubhouse *NEW*

HERITAGE BLUFFS GOLF CLUB, IL

Clubhouse *NEW*

HICKORY STICK GOLF CLUB, NY

Clubhouse *NEW*

HUNTLEY PINECREST

GOLF CLUB, IL

Game Room *STUDY*

JEFFERSON GOLF CLUB, WI

Golf Clubhouse *CONCEPT PLANNING*

JERSEY MEADOW GOLF CLUB, TX

Golf Course Clubhouse *NEW*

LONG COVE GOLF CLUB, TX

Golf Clubhouse *STUDY*

NAPERBROOK GOLF CLUB, IL

Clubhouse *ADDITION & RENOVATION*

PINECREST GOLF CLUB, IL

Golf Club *MASTER PLAN*

Clubhouse *NEW*

PRAIRIE LANDING GOLF CLUB, IL

West Clubhouse *NEW*

RIDGE CREEK GOLF CLUB, CA
Clubhouse and Turf Care Center *NEW*

SPRINGBROOK GOLF CLUB, IL
Clubhouse *ADDITION & RENOVATION*

STONE CREEK GOLF CLUB, IL
Clubhouse and Grounds
MASTER PLAN
Bar and Pro Shop *RENOVATION*

**STRAWBERRY CREEK
GOLF CLUB, WI**
Turf Care Center *NEW*

**SUNFLOWER HILLS
GOLF CLUB, MO**
Golf Course *FEASIBILITY STUDY*

THUNDERHAWK GOLF CLUB, IL
Clubhouse and Turf Care Center *NEW*

VILLAGE OF GLENCOE, IL
Golf Club Clubhouse *NEW*

ABBEY SPRINGS, WI
Turf Care Center *NEW*

BOLINGBROOK GOLF CLUB, IL
Golf Club *FACILITY ANALYSIS*

BOULDER RIDGE COUNTRY CLUB, IL
Summer Campus *NEW*

UTLER NATIONAL GOLF CLUB, IL
Locker Room *RENOVATION*

BUTTERFIELD COUNTRY CLUB, IL
Aquatic Center *NEW*
Kitchen *RENOVATION*
Dining *ADDITION*
Banquet Area and Locker Room
ADDITION AND RENOVATION

CRESS CREEK COUNTRY CLUB, IL
Clubhouse *NEW*
Card Room *RENOVATION*

CROWN VALLEY GOLF CLUB, IA
Clubhouse and Grounds *MASTER PLAN*

CROWFIELD PLANTATION, SC
Clubhouse and Aquatic Center *NEW*

ELGIN COUNTRY CLUB, IL
Golf Club *MASTER PLAN*

EVANSTON GOLF CLUB, IL
Golf Club *MASTER PLAN*
Aquatic Campus *NEW*

GLEN OAK COUNTRY CLUB, IL
Clubhouse and Grounds *MASTER PLAN*
Aquatic Campus *NEW*

**HAWTHORN WOODS
COUNTRY CLUB, IL**
Men's Grille *ADDITION*

HINSDALE GOLF CLUB, IL
Aquatic Center, Tennis Complex and
Turf Care Center *NEW*

HYPERION FIELD CLUB, IA
Clubhouse *MASTER PLAN*

INVERNESS GOLF CLUB, IL
Golf Club *MASTER PLAN*
Bar *ADDITION*

KEMPER LAKES GOLF CLUB, IL
Pro Shop *NEW*

LAKE GENEVA COUNTRY CLUB, WI
Turf Care Center *NEW*

LAKEWOOD COUNTRY CLUB, OH
Clubhouse and Grounds *MASTER PLAN*

LONG COVE RESORT, TX
Golf Clubhouse *MASTER PLAN NEW*

MC Henry COUNTRY CLUB, IL
Clubhouse *MASTER PLAN*

OAK PARK COUNTRY CLUB, IL
Tennis and Aquatic Center *NEW*

OLYMPIA FIELDS COUNTRY CLUB, IL
Gold Learning Center and Aquatic
Campus *NEW*

PRESTWICK COUNTRY CLUB, IL
Clubhouse *MASTER PLAN*

RAVINIA GREEN COUNTRY CLUB, IL
Clubhouse and Grounds *MASTER PLAN*

RIVERSIDE GOLF CLUB, IL
Men's Locker Room *RENOVATION*
Golf Club *MASTER PLAN*

**ROYAL MELBOURNE
COUNTRY CLUB, IL**
Dining and Bar *RENOVATION*
Clubhouse *RENOVATION*
Aquatic Center *NEW*
Platform Lodge
Platform Tennis

RUTH LAKE COUNTRY CLUB, IL
Clubhouse and Grounds *MASTER PLAN*

ST. CHARLES COUNTRY CLUB, IL
Ballroom *ADDITION AND RENOVATION*
Pool and Bathhouse *RENOVATION*

THE GLEN CLUB, IL
19th Hole Pro Shop *RENOVATION*

THE GOVERNORS CLUB, TN
Clubhouse and Grounds *MASTER PLAN*

TURNBERRY COUNTRY CLUB, IL
Ballroom and Dining *ADDITION AND
RENOVATION*

VALLEY LO CLUB, IL
Beach Club and Fitness Center *NEW*

**UNIVERSITY CLUB OF
MILWAUKEE, WI**
City Club *MASTER PLAN*
Country Club *MASTER PLAN*

**ARLINGTON HEIGHTS
PARK DISTRICT, IL**
Comprehensive Master Planning

ASHBURY AQUATIC CENTER, IL

**BOLINGBROOK RECREATION AND
AQUATIC COMPLEX, IL**

BOWES CREEK COUNTRY CLUB, IL
Community Clubhouse *NEW*

CITY OF ANKENY, IA
Aquatic Center *NEW*

CITY OF DES MOINES, IA
Northtown, Southtown and Birdland
Aquatic Centers *NEW*

DEL WEBB SUN CITY HUNTLEY, IL
Prairie Lodge *NEW*

GLEN ELLYN PARK DISTRICT, IL
Sunset Pool *NEW*
Johnson Center Maintenance
Facility *IMPLEMENTATION*

GURNEE PARK DISTRICT, IL
FitNation Golf and Interiors
RENOVATION STUDY

OAK BROOK PARK DISTRICT, IL
Indoor Aquatic Center *NEW*

O'FALLON PARK DISTRICT, IL
Parks and Rec Master Plan *FCA*



BRADLEY KROPP, RA

"I enjoy designing spaces for our community to live, work & play in."

Brad will be responsible for overall coordination of the design team from the kick-off meeting to final completion. His primary responsibilities involve setting project goals, developing the design through the drawings and specifications and coordinating the work of FGMA's consultants. He has led diverse government, civic, and community projects, delivering sustainable solutions that meet public needs.

EDUCATION

BS in Architectural Studies
University of Wisconsin

LICENSES & CERTIFICATIONS

Registered Architect | Wisconsin

MEMBERSHIPS

Sponsor of Southeast Wisconsin
Chapter of IFMA

**Project completed while Brad was affiliated with another firm.*

PROJECT ROLE

Project Manager

EXPERIENCE

VILLAGE OF LINCOLNWOOD, IL
Multi Facility *IMPLEMENTATION*

GLENCOE GOLF CLUB, IL
Clubhouse *NEW*

WING PARK GOLF COURSE, IL
Clubhouse

CITY OF NEW BERLIN, WI*
Activity & Recreation Center *NEW*

**PIONEER RIDGE CONDOMINIUM
COMMUNITY BUILDING & POOL, WI***
Community Building & Pool *NEW*

ALTUS GYMNASTICS, WI*
Gymnastics Classroom *ADAPTIVE
REUSE, STRUCTURAL & TENANT ALTERATION*

**GERMANTOWN PERFORMING
ARTS PAVILION, WI***
Performing Arts Pavilion *NEW*

CITY OF BROOKFIELD, WI
Police Department
SPACE NEEDS STUDY

CITY OF CEDARBURG, WI
Public Safety Building
SPACE NEEDS STUDY

CITY OF FITCHBURG, WI
Police Services *FACILITY NEW*

VILLAGE OF SLINGER, WI
Police Station *NEW*

CITY OF STOUGHTON, WI
Public Safety Facilities
SPACE NEEDS STUDY

CITY OF GREEN BAY, WI
City Hall & Police *SPACE NEEDS STUDY
& FEASIBILITY STUDY*

CITY OF FITCHBURG, WI
Police Services Facility *NEW*

**VILLAGE OF
SHOREWOOD HILLS, WI**
Village Hall, Public Works &
Police Department
FACILITY CONDITION ASSESSMENT/STUDY

**VILLAGE OF
MENOMONEE FALLS, WI**
Police Department *STUDY*
Police & Fire Training Facility *STUDY*

SYCAMORE FD, IL
Fire Station No.1 *PHASE II*



KYLE BARES, AIA, CDT

"I'm passionate about designing spaces that empower communities."

Kyle brings a depth of experience in municipal, K-12 education, multifamily, and senior living design to his role as a project architect in the Milwaukee office, focusing on creating safer, community-centered spaces.

EDUCATION

BS in Architectural Studies
University of Wisconsin-Milwaukee

LICENSES & CERTIFICATIONS

Registered Architect | Wisconsin

CSI, CDT Certification

MEMBERSHIPS

American Institute of Architects

PROJECT ROLE

Project Architect

EXPERIENCE

GLENCOE GOLF CLUB, IL
Clubhouse *NEW*

LAKE COUNTY, IL
Public Works Department Office
ADDITION

VILLAGE OF SLINGER, WI
Police Department

OAK CREEK FRANKLIN JOINT SCHOOL DISTRICT, WI*
Meadowview ES Gym
ADDITION/RENOVATION
Edgewood ES Gym
ADDITION/RENOVATION
Cedar Hills ES Gym
ADDITION/RENOVATION
Oak Creek HS *RENOVATION*
Oak Creek HS Tech & Performing Arts *ADDITION*

MADISON METROPOLITAN SD, WI*
Sandburg ES Gym
ADDITION/RENOVATION
Hawthorne ES Gym
ADDITION/RENOVATION
Ezekiel Gillespie MS *RENOVATION*
Southside ES *ADDITION*
Capitol HS *ADDITION & RENOVATION*

MIDDLETON-CROSS PLAINS SD, WI*
Middleton HS Athletic Stadium
NEW

GLENDALE, WI*
Nicolet Union HS
ADDITION & RENOVATION

**Project completed while Kyle was affiliated with another firm.*



CONTACT

161 Horizon Drive
Suite 101
Verona, Wisconsin 53593
608.848.5060
www.jsdinc.com

MARTIN DESIGN PARTNERSHIP, LTD

Golf Subject Matter Expert

As stewards of the environment and caretakers of golf Martin Design Partnership is privileged to develop golf courses that will be recognized as classic tests of golf that benefit the environment and community. They have projects that are award winning and received critical acclaim. But, more importantly, their work is environmentally beneficial, economically successful and operationally efficient.

The golf industry has witnessed remarkable growth and transformation, but little has changed in the game itself. Golf is about golfers and the wondrous places we play – the simple interaction of man and nature with friends, family or competitors.

Their goal is to make that interaction remarkable.

The demands of golfers and challenges from the golf industry inspire them to be more thoughtful and creative to solve functional, strategic, aesthetic and environmental requirements. The result is more playable, more challenging, more unique, more authentic and more engaging golf experiences.

Simply, their work produces beautiful, distinguished, subtle and satisfying golf experiences.

Whether new or renovation, on expansive rolling prairies, through scattered woodlands or stands of hardwoods, on rocky terrain or municipal facilities in urban settings.....they have been successful at delivering exceptional golf course experiences for public, private, resort or residential golf course communities.



GREGORY E. MARTIN, PLA

Martin Design Partnership, Ltd

Greg Martin is the lead Golf Course Architect at Martin Design Partnership, Ltd., with over 30 years of experience in classic, sustainable golf course design. He began his career in 1985 and later founded his own firm in 1991. Greg has led projects across the Midwest for private clubs, public courses, and municipalities. A member of the American Society of Golf Course Architects since 2006, he served as its President in 2016.

EDUCATION

B of Landscape Architecture
Iowa State University

LICENSES & CERTIFICATIONS

Professional Landscape Architect | Illinois

MEMBERSHIPS

American Society of Golf Course Architects

PROJECT ROLE

Gold Subject Matter Expert

EXPERIENCE

RICH HARVEST LINKS, IL

Golf Course

RENOVATION, REPURPOSE & EXPANSION

RIDGE COUNTRY CLUB, IL

Golf Course

RENOVATION, REPURPOSE & EXPANSION

RIVER FOREST COUNTRY CLUB, IL

Golf Course

RENOVATION, REPURPOSE & EXPANSION

PARK RIDGE COUNTRY CLUB, IL

Golf Course

RENOVATION, REPURPOSE & EXPANSION

NAPERBROOK GOLF COURSE, IL

Golf Course

RENOVATION, REPURPOSE & EXPANSION

SPRINGBROOK GOLF COURSE, IL

Golf Course

RENOVATION, REPURPOSE & EXPANSION

THE PRESERVE AT

OAK MEADOWS, IL

Golf Course

RENOVATION, REPURPOSE & EXPANSION

PHILLIPS PARK GOLF COURSE, IL

Golf Course

RENOVATION, REPURPOSE & EXPANSION

COYOTE RUN GOLF COURSE, IL

Golf Course

RENOVATION, REPURPOSE & EXPANSION

AURORA COUNTRY CLUB, IL

Golf Course

RENOVATION, REPURPOSE & EXPANSION

RUFFLED FEATHERS

GOLF COURSE, IL

DePaul University Practice

Golf Course

RENOVATION, REPURPOSE & EXPANSION

BILTMORE COUNTRY CLUB

Golf Course

RENOVATION, REPURPOSE & EXPANSION

VILLAGE LINKS GOLF COURSE, IL

Golf Course

RENOVATION, REPURPOSE & EXPANSION

MAPLE MEADOWS

GOLF COURSE, IL

Golf Course

RENOVATION, REPURPOSE & EXPANSION

GREEN BAY COUNTRY CLUB, WI

Golf Course

RENOVATION, REPURPOSE & EXPANSION

POTTAWATOMIE GOLF COURSE, IL

Golf Course

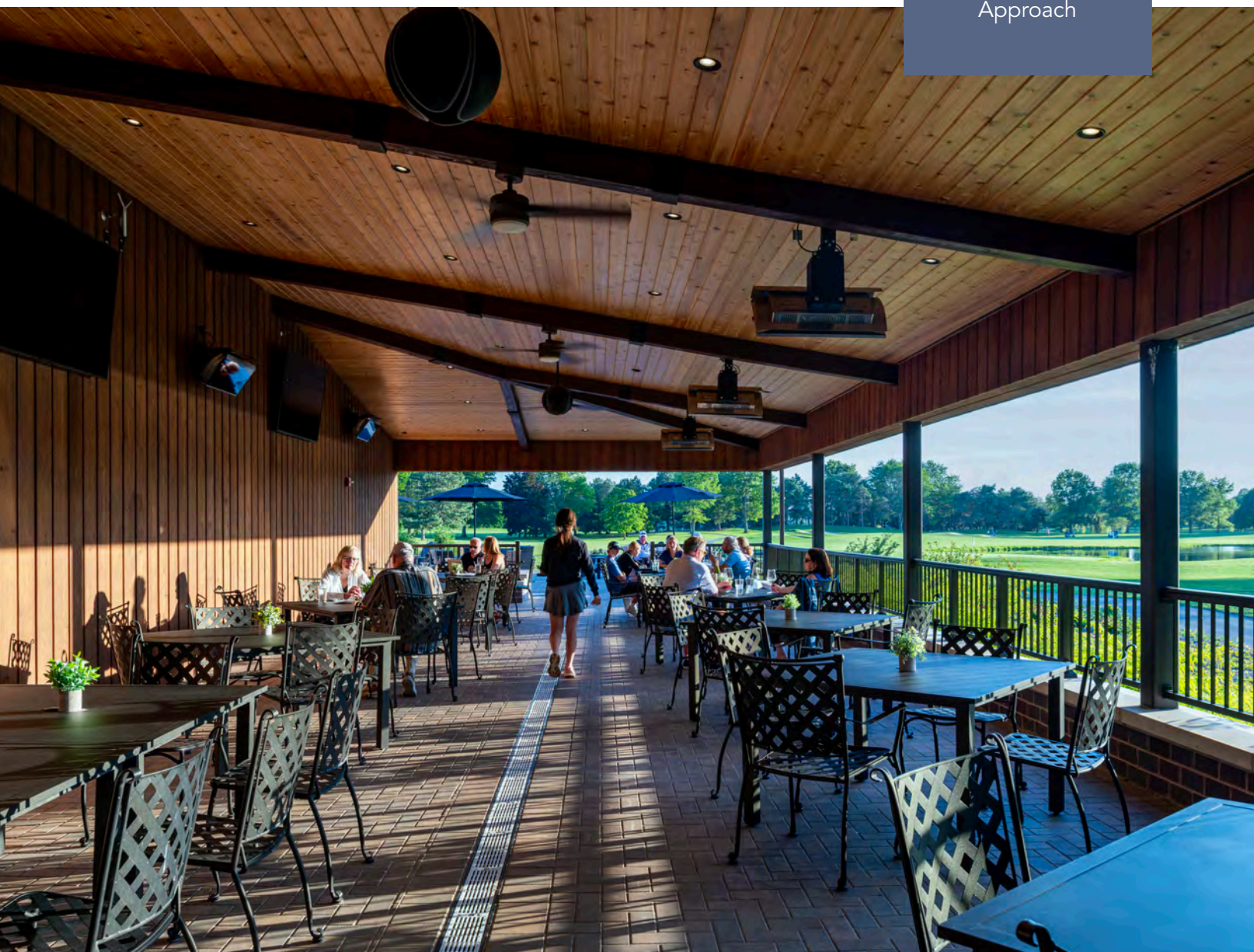
RENOVATION, REPURPOSE & EXPANSION



SECTION

4

Approach



Collaboration

FGMA works with you from the planning phase through contract completion. These services are organized according to the following phases:

Phase 1



SPACE NEEDS ASSESSMENT AND REVIEW

- Pre-meeting Preparation
- Project Kick-Off Meeting
- Review of Space Needs Information
- Program Development

Phase 2



IMPLEMENTATION OF THE PROJECT

- Schematic Design Phase
- Design Development Phase
- Construction Document Phase
- Bidding Phase
- Construction Phase



Phase 1

SPACE NEEDS ASSESSMENT AND REVIEW



This initial phase of work will determine the types and amount of spaces that will be required by the new driving range facility to operate effectively. This phase is critical as it identifies the correct

“recipe” for the building. FGMA takes great pride in this assessment work and believes it is our job to determine “true needs” versus “wants” for the facility.

PRE-MEETING PREPARATION

To be most efficient in preparation of the facility assessment, upfront preparation is critical. We will have initial discussions with key Park District Staff to discuss the operations of the Park District facility. During the pre-meeting preparation, FGMA’s in-house team design experts will review any pertinent documentation including organizational charts, standard operational procedures, existing building plans, maintenance records, etc.

PROJECT KICK-OFF MEETING

We begin every project with a Kick-Off Meeting to establish the project goals by which the Park District will measure the project’s success upon completion. To produce an effective analysis, FGMA believes that we must delve into key desires and concerns for the analysis. At the Kick-Off Meeting we:

- Introduce the team and their roles
- Develop the project’s goals - these are overarching goals that will drive the direction of solutions and project decisions

- Identify all questions that must be answered in Phase I.
- Discuss the Park District’s and Architect’s preferred communication chain of command
- Identify members of the Park District staff who will review with FGMA the information for the facility space needs analysis.
- Confirm the initial project schedule
- Set a date/frequency for update meetings to keep the project moving at an enthusiastic and appropriate pace

DELIVERABLES

- Written Project Goal Statement
- Written questions that must be answered by the study
- Project Team Directory
- Project Schedule

REVIEW OF SPACE NEEDS INFORMATION

FGMA specializes in working with Park District Departments; therefore, we understand and speak their language. We are skilled at engaging even the staunchest staff member which truly aids our ability to determine actual space needs versus wants.

Utilizing the Park District’s provided draft plan and program during the Project Kick Off Meeting, FGMA requests that the Park District Facilities Director and other key Park District team members assist with scheduling the review of the space planning draft and proposed renovations.

FGMA’s review with facilities directors will discuss programming needs and spatial



analysis to include technology requirements and needs of the maintenance staff.

During our review, we will ask questions about:

- Future Planning
- Functionality
- Security
- Spatial relationships and adjacencies
- Work space furnishings
- Equipment and storage needs
- Parking requirements, etc.

Much of the time spent reviewing the draft program will be used for discussing future changes, current challenges and functional issues. We use our experience to suggest solutions and potential methods to allow the staff to function more efficiently.

During this phase of work, FGMA also spends time observing how the Park District facilities actually function. We have found through conducting many assessments that we can find ways to increase operational efficiency by observing with a “fresh eye”.

After this phase is complete, we will review with the Park District the feedback we received prior to developing a more in-depth building program of space needs.

DELIVERABLES

- Analysis of Draft Program

PROGRAM DEVELOPMENT

With the review completed, FGMA will prepare a draft Program Statement detailing current and future space need requirements for the new driving range facility.

Included in the program development is an analysis of parking requirements for the Park District staff and public. As Park District and Golf facilities design specialists, we are well versed in codes and standards applicable to both facilities, which can affect space requirements.

The Program Statement is reviewed with designated representatives to make certain we correctly understood all the information obtained during the interviews. The draft Program is then refined to incorporate requested changes or additions. It is very important that we get the “recipe” for the space needs correct as the Program is the most important starting point for getting the project right.

DELIVERABLES

- Program (spreadsheet) detailing current and recommended square footage for all spaces required and site development by the Park District

REVIEW PARK DISTRICT PROVIDED SOLUTION

With a thorough understanding of the Park District’s space needs, opportunities and obstacles for utilizing the existing building as part of any solution, FGMA will develop two conceptual solutions on how to address the needs of the Park District be renovating the existing building to meet operational needs.

Initial explorations will be performed in the form of plan sketches. This work is performed interactively with significant input from staff. For each option explored, a simple “square foot” conceptual budget will be developed to identify the potential difference in magnitude

of costs which must be considered in any solution. We anticipate a series of several meetings between FGMA and the Park District to thoroughly evaluate all the potential options.

Once the initial concept plans are narrowed down, FGMA will further develop selected option(s) with conceptual floor plans and other drawings as necessary to convey the intent of the option. The conceptual plans will be diagrammatic in nature and illustrate where the various components of the driving range facility will be located.

For the further developed options, FGMA will utilize all information generated and will provide a square foot cost construction estimate and total project budget which includes site and building construction costs, furniture, fixtures and equipment costs, fees and other soft costs.

FGMA understands the importance for an accurate, all-inclusive project budget that the Park District can rely upon as a reasonably anticipated (\pm) budget for the project. With our extensive experience in the design and construction of Park District/Golf facilities we have amassed an extensive knowledge base of construction costs. In addition, we monitor global economic conditions, forecasting what may affect the cost of a facility in the future. Our experience and understanding of facility costs will help the Park District to make informed choices on how to best move forward. With all information available, including conceptual site, floor plans and total project budgets, FGMA in concert with our 3rd Party Estimator will develop a comparison analysis for the options which will include:

- Pros and Cons List for Each Option
- Operational Impacts
- Initial Construction Costs
- Operational Costs

DELIVERABLES

- Conceptual Site and Floor Plan Drawings (department / division level diagrams)
- Phasing Plan for Renovation Option
- Budgets for each option developed
- Comparison Analysis

FINAL REPORT AND PRESENTATION TO PARK DISTRICT BOARD

From information gathered and generated, we will prepare a summary report that will detail our methodology, findings and recommendations. FGMA's philosophy for studies includes preparation of a clear, concise and easy to understand report without a lot of "fluff". The report will contain an executive summary, a synopsis of all options studied, budgets and recommendations. We will develop a draft report for the Park District to review and then incorporate any changes requested.

FGMA will make a presentation to the Park District Board to discuss the findings of the assessment.

DELIVERABLES

- PowerPoint Presentation
- Report of Findings (four copies and an electronic copy)



Phase 3

IMPLEMENTATION OF THE PROJECT



FGMA specializes in providing Park District's with high quality architectural and engineering design services from the beginning to the end of a project and beyond.

SCHEMATIC DESIGN PHASE

Upon completion of programming and with direction from the Park District as to which option will best meet the needs, we would proceed with Schematic Design (SD).

TASK 1: Site analyses will be performed to address zoning, site restrictions, easements, site circulation, existing buildings, landscape and site design, parking and site utilities. We will meet with agencies having jurisdiction over the project and all local utility companies to ensure coordination and compliance with all requirements.

TASK 2: Prepared Schematic Design for the new Park District facilities. The Schematic Design will include 2-3 options of floor plans, site plans and building elevations. A series of meetings will be held with the Project Team throughout the schematic design phase to build a consensus for the design of the building.

TASK 3: At key intervals to be identified by the Project Team, FGMA will present initial design to the Park District Board to seek feedback and consensus. Presentations for any desired public forums to present the initial design would occur in this phase.

TASK 4: Upon confirmation of a preferred schematic design, final documentation preparation will include plans, supporting data – goals and objectives, site analyses and program.

TASK 5: Upon confirmation of the selected schematic design option, we will develop an outline description of the building and site improvements. The outline description will include:

Project description

Site plan indicating all major site improvements

Typical architectural building plans and elevations

Non-typical architectural building plans

Structural system descriptions

Mechanical and electrical system descriptions and diagrams



Mechanical and electrical equipment locations
Zoning and code requirement summaries

TASK 6: Develop a Schematic Design Budget for the entire project. At this time, the costs are largely based on square foot costs using historical information.

TASK 7: Review the project for Value Engineering Alternatives.

TASK 8: We will review alternative options for such major building systems as the exterior envelope and HVAC distribution system. These studies shall be suitable for developing preliminary pricing, life cycle, and operation costs to determine the appropriate systems for the building.

TASK 9: A preliminary building code review will be prepared.

TASK 10: Have an initial meeting with the Building and Zoning Official to present the project scope, garner input, and discuss the overall project review process.

TASK 11: Obtain Park District approval to proceed into Design Development.

DESIGN DEVELOPMENT PHASE

The intent of this phase is to refine and further define all design elements of the project. Coordination of all the building systems is addressed and materials and finishes for the exterior and all public spaces are selected. Building standards for Park District facility are developed. Space finishes and materials are selected.

TASK 1: Based on the approved schematic design documents and any adjustments authorized by the Park District to the program or budget, we will prepare design development documents consisting of drawings and other documents to fix and describe the size, location and character of each element of the entire project pertaining to architectural, civil landscape, structural, mechanical and electrical systems and materials.

TASK 2: Conduct meetings with the Project Team during the design development phase with all current planning groups, and consultants to confirm that the design development documentation is following the established schematic design direction and to obtain additional information required for the greater level of detail provided by Design Development documentation.

TASK 3: Coordinate design work with Park District vendors, such as information technology and communications equipment, which will be provided separately.

TASK 4: Develop initial furniture layouts. FGMA believes developing initial furniture and equipment layouts early provides for a better overall design as spaces can still be relatively easily manipulated to accommodate identified needs.

TASK 5: Identify low voltage, data, security, and audio/visual equipment requirements.

TASK 6: Determine initial interior finish materials and color palate for the project.



TASK 7: Prepare outline building specifications for the project. This will include information for all major building elements.

TASK 8: Prepare a design development cost estimate. Cost estimates at this stage are a combination of quantity take offs, unit pricing, and square foot costs/ allowances for items not fully developed.

TASK 9: The project team will review the project for Value Engineering Alternatives.

TASK 10: Present the project to the Park District Board for approval.

TASK 11: Obtain Park District approval to proceed into Construction Documents.

CONSTRUCTION DOCUMENT PHASE

The Construction Documents serve to communicate to the Park District and construction professionals the work required to complete the project including: materials and equipment, relationships of materials and systems and quality.

TASK 1: Upon approval of the design development document phase, and based on the selected alternative system studies,

we shall prepare complete construction documents. The construction documents shall consist of complete contract drawings and specifications. FGMA will assist the Park District in preparation of the general conditions, instructions to bidders and other necessary documents.

TASK 2: FGMA will provide progress review documents at 50%, 79% and 90% completion for Park District reviews and approvals. During the Construction Document Phase, FGMA utilizes Newforma, a file management system allowing team members access to the latest documents which are updated on a periodic basis.

TASK 3: Conduct meetings with the Project Team and all planning groups, consultants as required to obtain necessary information and approvals to complete the Construction Documents.

TASK 4: Coordinate design work with Park District vendors, including information technology and communications contractors, which will be provided under separate contracts.

TASK 5: CD Quality Control Review: FGMA has a quality control program that provides both continuous quality monitoring during project design with a strictly enforced system of periodic review. All our projects are reviewed extensively prior to being released for Bidding.

TASK 6: Prepare cost estimates at 75% Construction Document completion. Cost estimates rely primarily on quantity take offs and vendor and sub-trade input on costs.

TASK 7: FGMA will assist the Park District in filing the required documents for building permit approval of authorities having jurisdiction over the project.

TASK 8: Present the final plans and budgets to the Park District. This will include a sheet by sheet review of the drawing set.

TASK 9: Obtain Park District approval to proceed into the Construction Phase and bid the project.

BIDDING PHASE

In this phase of work, FGMA will assist the Park District to issue Construction Documents for Bidding to construction professionals.

TASK 1: FGMA shall respond to questions from contractors during the bidding phase.

TASK 2: FGMA will attend and / or facilitate a pre-bid conference.

TASK 3: FGMA will prepare and issue addenda

TASK 4: Upon receipt of bids, assist Park District in determining the most qualified low bidder. The review of a bidder's qualifications takes place on several levels. From an objective standpoint, information can be gathered reflecting the contractor's previous experience, financial stability, etc. by requiring submission of an AIA A305 (or similar) qualification statement.

Equally important, however, is an assessment of the contractor's workmanship, efficiency, responsiveness and other attributes, which cannot be determined by reviewing a qualification statement. Here FGMA would rely on conducting thorough reference checks and our many years of experience working with construction professionals on local governmental projects.

TASK 5: Recommend the most qualified bidder and present bid results to Park District Board.

CONSTRUCTION PHASE

The Construction Administration phase will be given our full attention to assure that the projects are completed expeditiously and, in the manner intended.

TASK 1: Acting as the Park District's advocate, we will provide administration of the construction contract including advising and consulting with the Park District; meeting with Authorities Having Jurisdiction; forwarding all Park District instructions to the contractor(s); review of shop drawings, samples and other submissions of the trade contractors; interpreting the documents for the trade contractors; issuing certifications of payment and certificates of substantial completion and review and issuing change orders.

TASK 2: FGMA shall answer requests for information (RFIs).

TASK 3: We will provide an average of one site visit per every 2 weeks for on-site observation and for construction meetings Park District and contractor.

TASK 4: Assist in coordinating work with Park District vendors which will be provided under separate contracts.

TASK 5: Review "pencil draw" payment requests and certify monthly payment requests after any corrections are made.

TASK 6: When the project is substantially complete, we shall prepare, and coordinate



punch lists of items requiring remedial work or replacement, collect and deliver to the Park District written warranties and other related documents.

TASK 7: FGMA will assist the Park District as requested to ensure proper system start up procedures are followed and building commissioning has been completed.

TASK 8: We would provide a punch-list, and then follow-up with reviews and to assist the Park District and contractors as required to obtain final Certificate of Occupancy.

TASK 9: Prepare record documents for Park District. Provide hard copies and in digital format as required.

TASK 10: Ten months after substantial completion of the project, with Park District and contractor, observe building architectural and MEP/FP systems. Prepare a defects list. Assist Park District in the coordination, review and approval of all corrective action under the warranties.

PROVISION OF SERVICES SERVICES ANTICIPATED TO BE PROVIDED BY FGMA IN-HOUSE INCLUDE:

- Architecture
- Interior Design
- Furniture Design and Procurement

SERVICES TO BE PROVIDED BY FGMA'S CONSULTANTS INCLUDE:

- Civil Engineering (including surveying)
- Structural Engineering
- Mechanical Engineering
- Electrical Engineering (including low voltage and data system design)
- Plumbing Engineering
- Fire Protection Engineering
- Electronic Security Consulting
- Audio/Visual Consulting
- Golf Course Design
- 3rd Party Estimating
- Landscape Design

SERVICES ANTICIPATED TO BE PROVIDED BY WHEATON PARK DISTRICT INCLUDES:

- Construction Phase Testing
- Environmental Consultant
- Information Technology Design

SECTION

5

Project Schedule



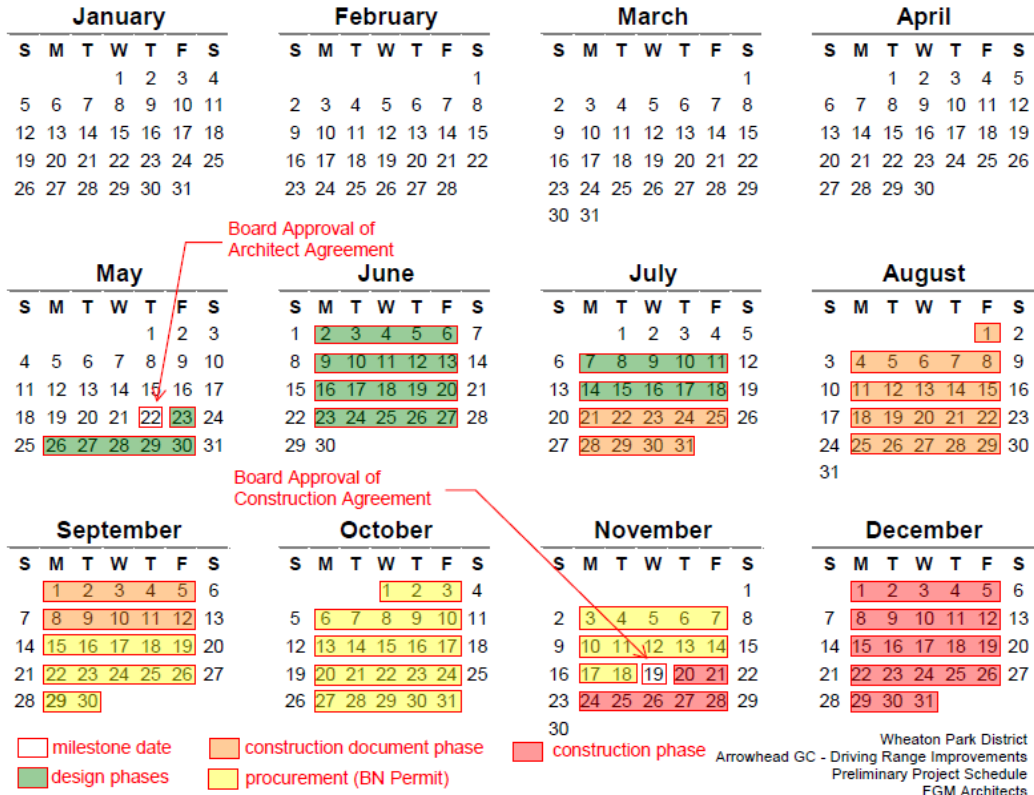
PROJECT SCHEDULE

Schedule 1 (All work permitted, bid and constructed under a single GC contract)

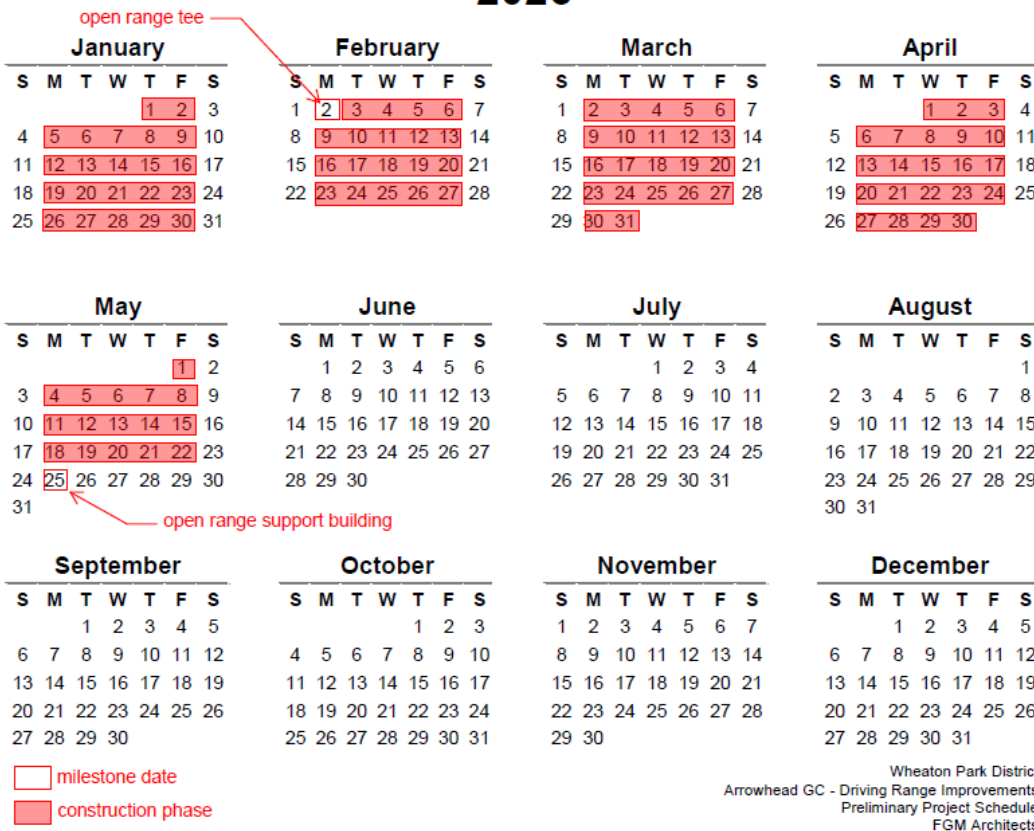
(Single design phase, 50% CD budget while CD's continue, permitting limited to 10 weeks, minimal bidding and GC contract award time, construction phase is weather dependent)

Board Approval of A/E Agreement	May 21, 2025
Design Phase	May 22 – July 18
Programming & Concept Budget (1 week)	May 22 – May 30
Design Work + Design Mtg + Budget (2 weeks)	June 2 – June 13
Design Work + Design Mtg + Budget (2 weeks)	June 16 – June 27
Holiday Week	June 30 – July 4
Design Work + Design Mtg + Budget (2 weeks)	July 7 – July 18
Design Approval	July 18
Construction Document Phase	July 21 – September 12
Construction Documents (4 weeks)	July 21 – August 15
Budget (2 weeks)	August 18 – August 29
Construction Documents (4 weeks)	August 18 – September 12
Advertisement for Bid (2 weeks)	September 1 – September 1
Bidding/Negotiations/Permitting Phase	
Permitting (8-10 weeks)	September 15 – November 19
Bidding (4 weeks)	September 15 – October 10
Bidding Review & Contract (2 weeks)	October 13 - October 24
<i>Board Meeting</i>	<i>October 15, 2025</i>
Board Approval	November 19, 2025
Construction Phase	
General Construction	November 20 -
Range Cover + Site Dvlpmnt (8 weeks)	November 20 – January 9
Range Cover + Site Dvlpmnt Punchlist (3 weeks)	January 12 – January 30
Range Cover + Site Dvlpmnt Complete	February 2, 2026
Support Building (23 weeks / 5+ months)	November 20 – May 1
Support Building Punclist (3 weeks)	May 4 – May 22
Support Building Complete	May 25, 2026

2025



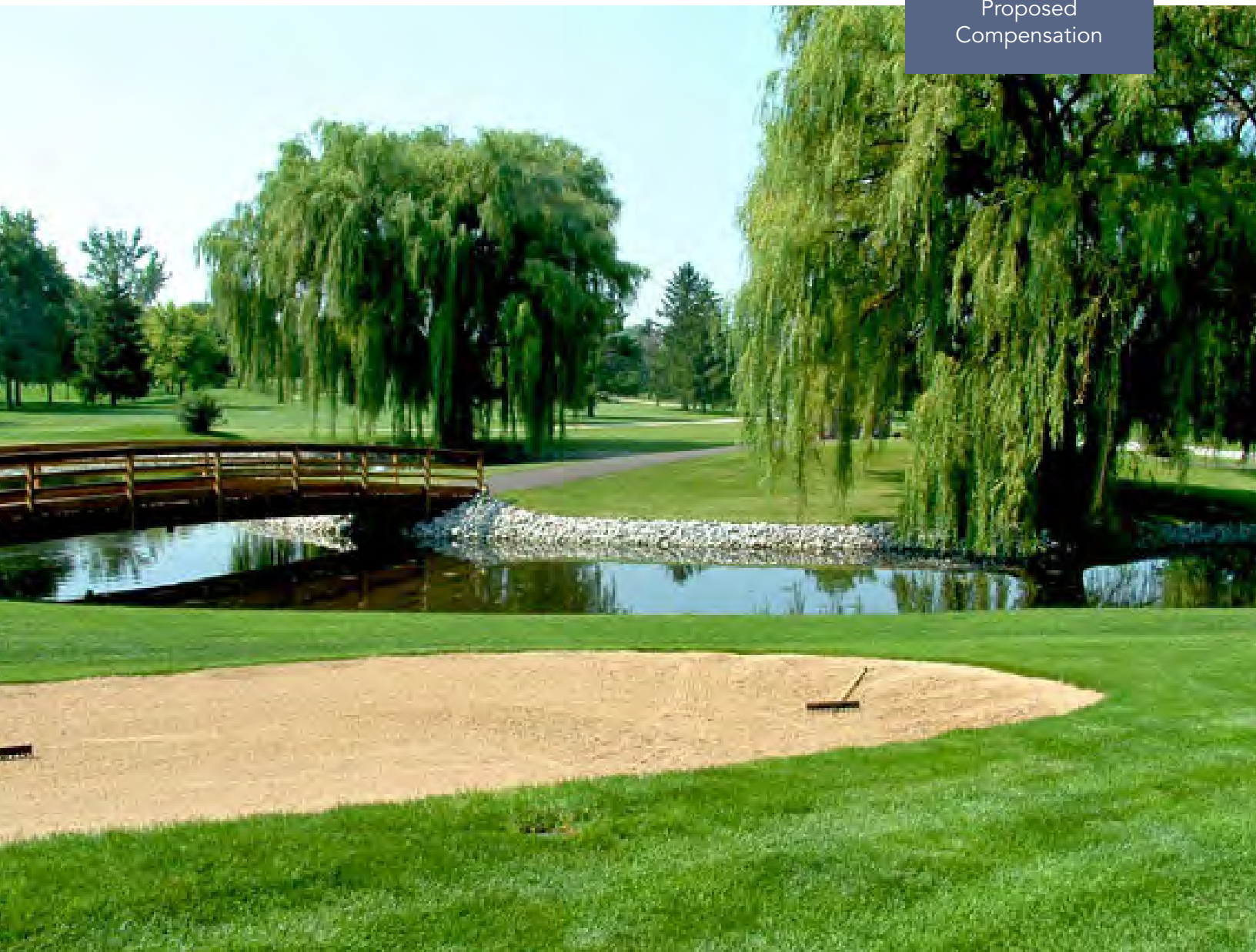
2026



SECTION

6

Proposed
Compensation



PROPOSED COMPENSATION

Basic Services (Architectural, Structural, Mechanical, Electrical, Plumbing, Fire Protection)

Schematic Design	\$23,500 (lump sum)
Design Development	2% of assigned Construction Value
Construction Documents	3% of assigned Construction Value
Procurement + Construction	2% of assigned Construction Value

Added Value Services

Site Survey (Webster McGrath Alberg)	\$4,840
Private Utility Locate (TBD)	\$2,000 allowance
Civil Engineering (Webster McGrath Alberg)	\$negotiated
Landscape Design (TBD)	\$negotiated
Golf Course Design (Greg Martin)	\$negotiated
Food Service Design (TBD)	\$negotiated
Range Cover Design (Cover the Tees)	\$included in Cover the Tees
3r Party Cost Estimating (EP Doyle)	\$included in SD Fee

We Build Community



SUBMITTED BY

DAN NICHOLAS

Principal-in-Charge

DanNicholas@fgmarchitects.com | 630.576.1086

1 Westbrook Corporate Center, Suite 1000
Westchester, Illinois 60154

SUBMITTED TO

STEVE HINCHEE

Wheaton Park District | Arrowhead Golf Course

shinchee@wheatonparks.org

26W151 Butterfield Road
Wheaton, Illinois 60189

fgma
FGMARCHITECTS

TO: Board of Commissioners

FROM: Rob Sperl, Director of Parks and Planning
Steve Hinchee, Superintendent of Planning

THROUGH: Michael Benard, Executive Director

RE: Northside Park Girl Scout Cabin- AltusWorks Report

DATE: July 2, 2025



SUMMARY:

AltusWorks was contracted to assess the condition of the log cabin structures at Northside Park that were built in the 1930's. A report was previously provided to the Board in September of 2022. A follow-up report was requested for a high-level analysis of how further repair costs would compare to the cost of a replacement structure. The report has been provided at this time for the purposes of discussion.

Stabilization

The report outlines the need to replace logs and the chinking between them, restore windows, reinforce the mezzanine, replace the roof and stabilize the south wall with exposed bracing. Their estimate for this work is between \$390,000 and \$450,000 depending on how soon the work is done. There are some ADA concerns with the existing building as well with an estimated cost of \$60,000. A re-assessment was performed on April 22, 2025 and further deterioration was found. This is discussed in more detail in their Re-assessment and Usability Statement attached.

This work would only address existing problems. There would be no improvements to the programming use or energy efficiency. With the building being nearly 90 years old, we suspect additional maintenance will be ongoing.

Replacement

The report also evaluated the option of replacing the cabin with a similar looking and functioning building. It would meet current codes and increase energy efficiency. Two accessible restrooms would be provided as an improvement from the current single restroom adjacent to the kitchen. One of the new restrooms would be accessed from the exterior.

The estimated cost for a replacement cabin is between \$1,400,000 and \$1,600,000 depending on timing of the work. Staff have reviewed these costs and believe they are very conservative. The cost includes saving some of the stonework and fireplace that is not necessary in our opinion. It is also not necessary to replace the mezzanine since it is only used for storage. We feel confident that a replacement could be built for approximately \$700,000 - \$800,000 utilizing a design build contract and/or using staff to complete some of the work. Additional research would be done to confirm this approach.

If a new structure is built, programming staff feels that we can increase the number of camp participants by approximately 25 people who would currently be on a waiting list. It is unlikely that we could increase rental opportunities considering the amount of time that we have it reserved for our programs. The real benefit would be to have a new building with better access and limited maintenance needs in the next 15-20 years.

PREVIOUS COMMITTEE/BOARD ACTION:

A contract with AltusWorks in the amount of \$20,934 was approved at the April 2022 Board meeting, and a second contract in the amount of \$28,250 for the Girl Scout Cabin report was approved at the June 2024 Board meeting. Costs noted in AltusWorks Oct 4, 2024 report were briefly discussed at the Capital Budget review meeting on February 1, 2025.

REVENUE OR FUNDING IMPLICATIONS:

The FY 2025 budget includes \$400,000 for Cabin Restoration (40-800-826-57-5701-0000).

If the cabin were replaced, recreation anticipates the following changes:

Girl Scout Cabin			
	Current Use	Possible Future Use	% Difference
Participation	2,562	3,420	+28%
Gross Revenue	\$67,612	\$183,735	+92%
Net Revenue	\$27,923	\$117,000	+112%

Current use Includes:

- Lincoln Marsh offerings
- Current Mean Camp Green offerings (8 weeks with about 30-40 kids per week)

Future Use Includes:

- Same Lincoln Marsh offerings
- Camp Illini, Awesome August and Before/After Care moving to the new Girl Scout Cabin with an increase to 72 kids per week at camp with 24 kids at before/after care each week
 - This is essentially doubling our number of campers at that site, adding an entire program of before/after care to the site and adding an additional 2 weeks of camp with Awesome August being hosted at the site.

STAKEHOLDER PROCESS:

Planning staff has been working with recreation and Lincoln marsh staff on this report and the options presented.

ATTACHMENTS:

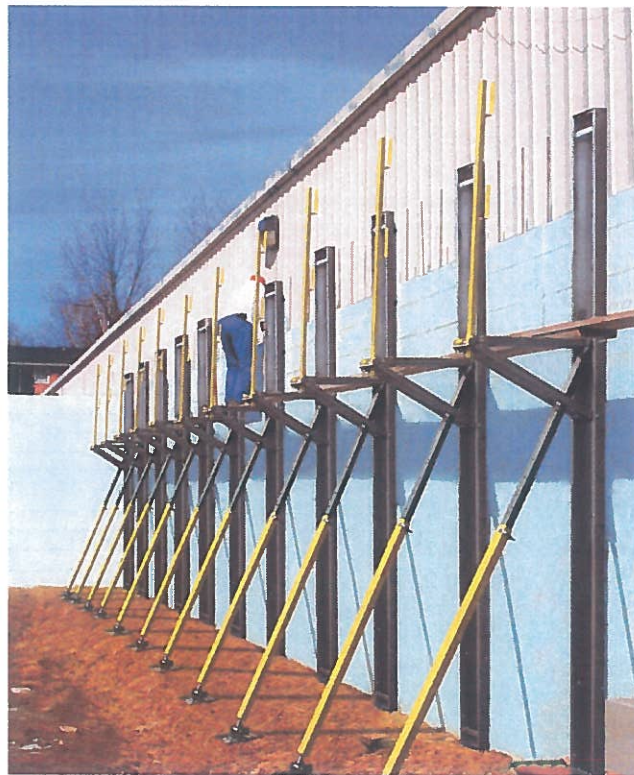
Examples of Bracing - Building Stabilization

AltusWorks Re-assessment and Usability Statement dated Apr 28, 2025

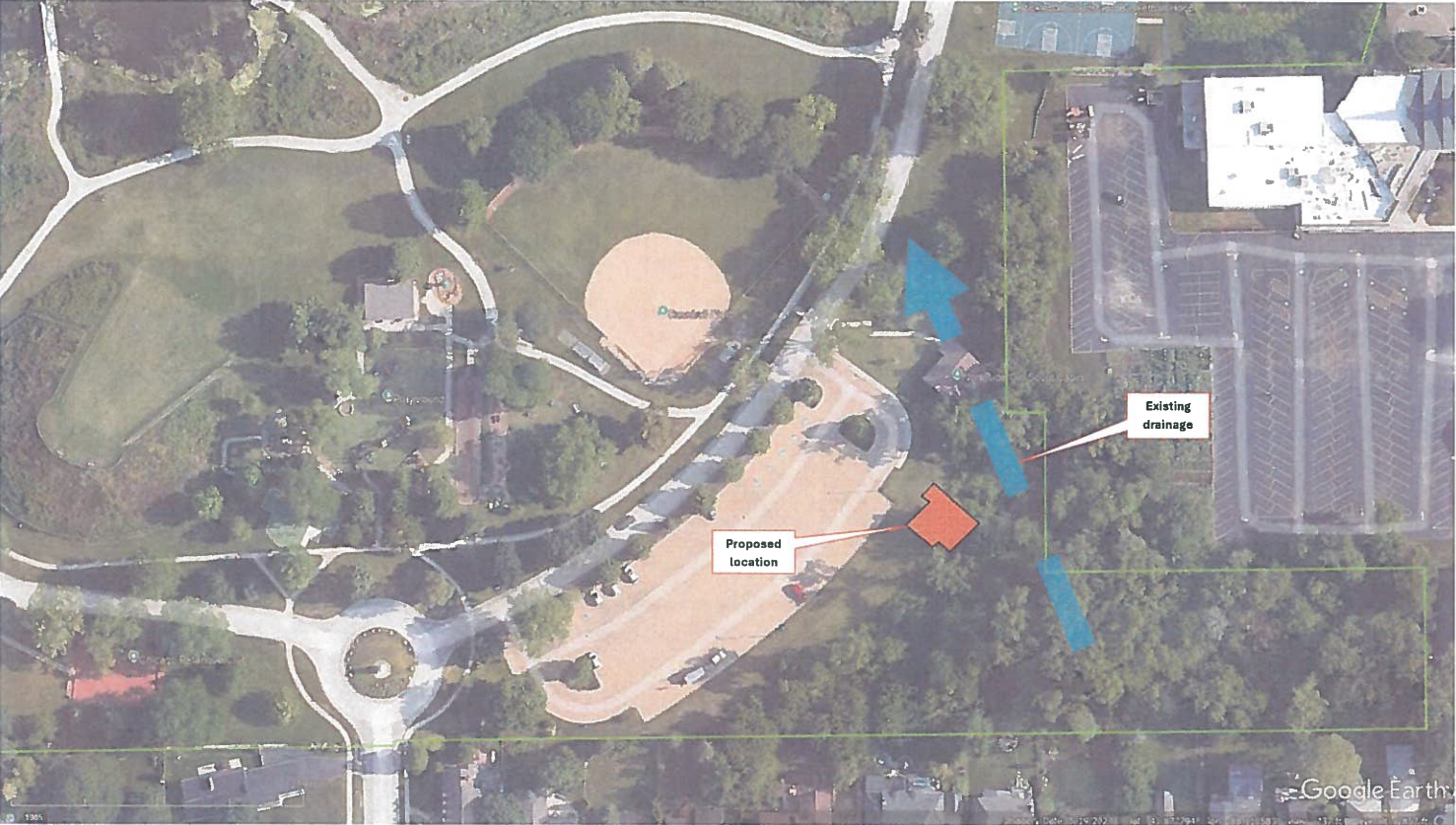
AltusWorks Inc. report dated Oct. 4, 2024

ADA report

Examples of Bracing for the Front Wall



Northside Park Girl Scout Cabin Location





ALTUSWORKS INC.

ARCHITECTURE
HISTORIC PRESERVATION
RENOVATION | RESTORATION
ADAPTIVE REUSE
FACILITY ANALYSIS

April 28, 2025

Mr. Steve Hinchee
Superintendent of Planning
Wheaton Park District
102 E. Wesley St
Wheaton, IL 60187

Via email: shinchee@wheatonparks.org

Re: Re-assessment and Usability Statement
Northside Park Girl Scout Log Cabin, 1300 N. West St, Wheaton IL

Dear Steve,

As requested, our team revisited the Girl Scout Cabin on April 22, 2025 to review the current conditions of the structural walls and advise you on the usability of the structure.

Per our review, we do not recommend using the structure for programmed activities until the stabilization recommendations developed by our team in after our site visit in August of 2024 can be implemented. The continued deterioration of the structural logs combined with the trust from the roof structure need to be rectified before the building can be occupied.

During our assessment we observed and recorded on the G-6 elevation sheet:

1. Additional wood rot within the logs
2. Expanded insect infestation within the logs
3. increased chinking replacement to 100% due to expanded cracking and debonding of synthetic chinking.
4. Areas of bulging and displacement.

Please find attached a letter from KENG, the structural engineer further explaining the structural concerns. Please contact us with additional questions.

Regards,

AltusWorks, Inc.

Ellen F. Stoner
Principal
Cc: File

April 25, 2025

Ellen Stoner
AltusWorks
211 N Clinton Street
Suite 3S
Chicago, Illinois 60661

RE: Northside Park - Girl Scout Cabin

Dear Ms. Stoner:

The cabin is a one-story log framed building with a gabled roof and a mezzanine. The roof is framed with large diameter timber rafters, some of which have had tie-rods added.

I have visited the cabin three times: April 29, 2022, August 13, 2024, and April 22, 2025. The following are my observations:

1. Damage from rot and insects has been occurring to the perimeter logs, especially the lower portions of the walls. This deterioration continues to progress and has gotten incrementally worse.
2. The exterior daubing has gaps and cracks which are allowing for further water damage to occur. Some of these gaps and cracks have gotten larger and more pronounced.
3. The gable roof is spreading and creating a thrust action onto the exterior walls. This is due to a lack of restraint being provided at all the rafter pairs. Tie-rods have only been provided at less than half of the roof rafter pairs. Tie-rods provide resistance against spreading from the self-weight of the roof and snow.
4. The north wall is leaning outward due to the thrust action from the roof and is being exacerbated from the wall's construction. Typically, log cabin construction utilizes longer length timbers that are interlocked to create wall stability. However, the walls of this cabin use short sections of timbers.
5. The overall ability of the cabin to resist wind loads continues to be reduced because of the advancing deterioration with the perimeter walls, especially the east and west walls. The perimeter walls of the cabin are bearing walls and act as shear walls resisting overturning and sliding forces induced by the wind.

The cabin in its current state is not structurally stable without continuing with the repair plan that has provided.

Please contact me with any questions.

Sincerely,

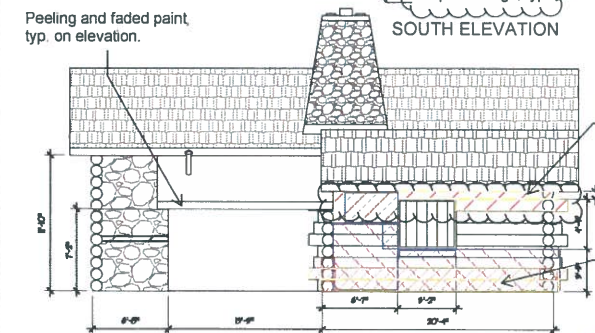
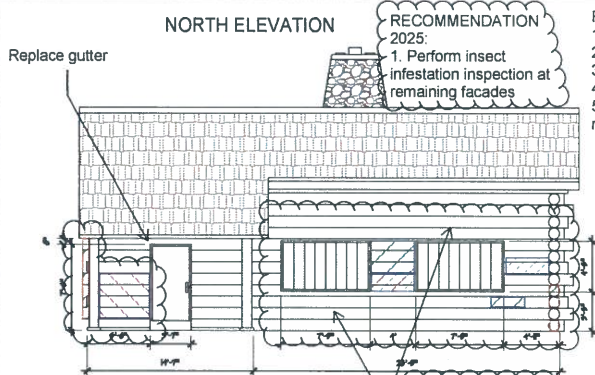
K.ENG LLC



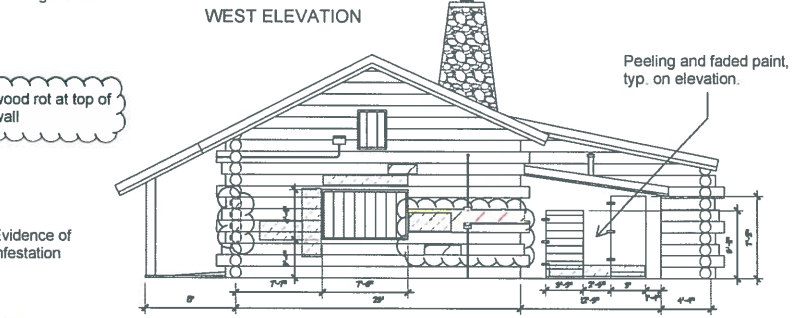
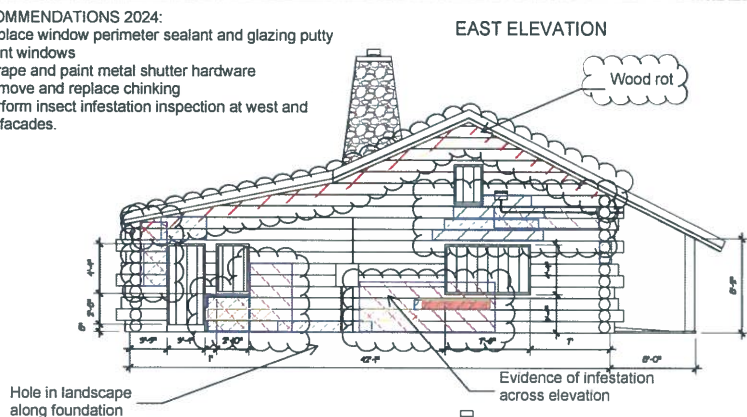
Ken Karston, S.E., P.E.



Expires 11-30-2026



- RECOMMENDATIONS 2024:**
1. Replace window perimeter sealant and glazing putty
 2. Paint windows
 3. Scrape and paint metal shutter hardware
 4. Remove and replace chinking
 5. Perform insect infestation inspection at west and north facades.



Notes: The number of logs per elevation are just representative and are not accurate

- Replace log or large dutchman Repair
- Replace Crown portion of log
- Repair logs
- Evidence of termite infestation



4/22/2025 updated assessment

WHEATON PARK DISTRICT
 102 N. WINDY WHEATON IL, 60097
 (815) 425-4700

**NORTHSIDE
 GIRL SCOUT CABIN
 EXTERIOR ELEVATIONS**

drawn by: FWB	revised by:
date: 1/11/2020	date:
checked by:	revised by:
date:	date:
file name: gs_south_elev	revised by:
file path: \\wheatonpark\gs\drawings	date:

ADA Report



WHEATON PARK DISTRICT TRANSITION PLAN

Responsible Person: Brian Morrow Phone: (630)510-4975									
Site	Finding #	Area	Type of correction	Recommendation	Price/unit	# of units	unit type	Total cost	Phase
Northside Girl Scout Cabin	1	Exterior Accessible Route	Accessible Routes	Repair, bevel or ramp CIL along accessible route (AR) to max .25".	\$96.25	1	each	\$96.25	3
Northside Girl Scout Cabin	2	Exterior Accessible Route	Ramps (Not Curb Ramps)	Remove ramp from door maneuvering clearance and correct CIL at door.	\$96.25	4	each	\$385.00	1
Northside Girl Scout Cabin	3	Exterior Accessible Route	Accessible Routes	Correct or fill gaps to be max .5".	\$96.25	12	each	\$1,155.00	1
Northside Girl Scout Cabin	4	Exterior Accessible Route	Accessible Route - Slope (C)	Correct cross slopes to max 2.08%.	\$122.50	100	sq ft	\$12,250.00	1
Northside Girl Scout Cabin	5	Exterior Accessible Route	Curb Ramps	Correct curb ramp cross slope to max 2.08%.	\$1,015.00	1	each	\$1,015.00	1
Northside Girl Scout Cabin	6	Exterior Accessible Route	Accessible Routes	Repair, bevel or ramp change in level along accessible route.	\$96.25	1	each	\$96.25	1
Northside Girl Scout Cabin	7	Exterior Accessible Route	Ramps (Not Curb Ramps)	Correct ramp landing slope to max 2.08%.	\$875.00	1	each	\$875.00	1
Northside Girl Scout Cabin	8	Exterior Accessible Route	Curb Ramps	Correct slope of curb ramp side flares to max 8.33%.	\$1,015.00	1	each	\$1,015.00	1
Northside Girl Scout Cabin	9	Exterior Accessible Route	Curb Ramps	Correct curb ramp slope to max 8.33%.	\$1,015.00	1	each	\$1,015.00	1
Northside Girl Scout Cabin	10	Exterior Accessible Route	Curb Ramps	Create a level landing at the top of the curb ramp, 36" deep and as wide as ramp.	\$875.00	1	each	\$875.00	1
Northside Girl Scout Cabin	11	Exterior Accessible Route	Curb Ramps	Correct slope of curb ramp side flares to max 8.33%.	\$1,015.00	1	each	\$1,015.00	1
Northside Girl Scout Cabin	12	Exterior Elements	Room/Space (C)	For employee spaces, relocate storage, furniture, and other obstacles at doorways to provide approach, enter and exit at the employee space. Provide required maneuvering clearance on push and pull side of doors. Repair, bevel, or ramp CILs at door entries to max .25". Replace hardware with lever hardware or hardware operable without a tight pinch or grasp.	\$2,360.75	1	each	\$2,360.75	3



WHEATON PARK DISTRICT TRANSITION PLAN

Responsible Person: Brian Morrow Phone: (630)510-4975

Site	Finding #	Area	Type of correction	Recommendation	Price/unit	# of units	unit type	Total cost	Phase
Northside Girl Scout Cabin	13	Exterior Elements	Accessible Routes	Create AR with crushed and compacted stone or similar outdoor material from parking or sidewalk to building entrance.	\$59.20	50	lin ft	\$2,960.00	3
Northside Girl Scout Cabin	14	Exterior Elements	Room/Space (C)	For employee spaces, relocate storage, furniture, and other obstacles at doorways to provide approach, enter and exit at the employee space. Provide required maneuvering clearance on push and pull side of doors. Repair, bevel, or ramp CILs at door entries to max .25". Replace hardware with lever hardware or hardware operable without a tight pinch or grasp.	\$4,110.75	1	each	\$4,110.75	3
Northside Girl Scout Cabin	15	Exterior Elements	Accessible Routes	Create AR with crushed and compacted stone or similar outdoor material from parking or sidewalk to building entrance. Pricing in previous finding for route to furnace room.	\$0.00	1	each	\$0.00	3
Northside Girl Scout Cabin	16	Exterior Elements	Picnic Tables (C)	Replace picnic table with one of an accessible design.	\$1,120.00	1	each	\$1,120.00	3
Northside Girl Scout Cabin	17	Exterior Elements	Accessible Routes	Relocate garbage can along an accessible route with level clear ground space.	\$0.00	1	staff time	\$0.00	2



WHEATON PARK DISTRICT TRANSITION PLAN

Responsible Person: Brian Morrow Phone: (630)510-4975									
Site	Finding #	Area	Type of correction	Recommendation	Price/unit	# of units	unit type	Total cost	Phase
Northside Girl Scout Cabin	18	Interior Accessible Route	Doors	For all doors/gates along the public circulation route, provide required maneuvering clearance on push and pull side of doors/gate. For all doors/gates along the public circulation route, repair, bevel, or ramp CILs at entries to max .25". For all doors/gates along the public circulation route, replace hardware with lever hardware or hardware operable without a tight pinch or grasp.	\$3,389.75	1	each	\$3,389.75	1
Northside Girl Scout Cabin	19	Public Spaces	Plumbing Fixtures & Elements	Insulate exposed pipes under sink.	\$77.00	1	each	\$77.00	2
Northside Girl Scout Cabin	20	Public Spaces	Kitchens, Kitchenettes, And Wet Bars	Raise sink bowl to provide 27" knee clearance or remove face board.	\$2,380.00	1	each	\$2,380.00	2
Northside Girl Scout Cabin	21	Public Spaces	Kitchens, Kitchenettes, And Wet Bars	Replace oven with one having controls on the front panel.	\$2,800.00	1	each	\$2,800.00	2
Northside Girl Scout Cabin	22	Public Spaces	Reach Ranges	Remount unobstructed operable parts to be in reach range of 15" min to 48" max.	\$350.00	3	each	\$1,050.00	2
Northside Girl Scout Cabin	23	Public Spaces	Operable Parts	Replace operable part with one usable without a tight pinch or grasp.	\$210.00	1	each	\$210.00	2
Northside Girl Scout Cabin	24	Public Spaces	Accessible Routes	Widen AR to compliant 36" clear width.	\$0.00	1	staff time	\$0.00	2
Northside Girl Scout Cabin	25	Public Spaces	Clear Floor Space	Remove, or relocate storage in CFS at fixtures and operable parts along the AR.	\$0.00	1	staff time	\$0.00	2
Northside Girl Scout Cabin	26	Public Spaces	Reach Ranges	Remount operable parts to be in reach range of 15" min to 48" max.	\$350.00	1	each	\$350.00	2



WHEATON PARK DISTRICT TRANSITION PLAN

Responsible Person: Brian Morrow Phone: (630)510-4975

Site	Finding #	Area	Type of correction	Recommendation	Price/unit	# of units	unit type	Total cost	Phase
Northside Girl Scout Cabin	27	Public Spaces	Doors	For all doors/gates along the public circulation route, provide required maneuvering clearance on push and pull side of doors/gate. For all doors/gates along the public circulation route, replace with doors/gates having 80" overhead clearance and 32" clear width. For all doors/gates along the public circulation route, replace hardware with lever hardware or hardware operable without a tight pinch or grasp.	\$3,287.00	1	each	\$3,287.00	2
Northside Girl Scout Cabin	28	Public Spaces	Accessible Routes	Relocate or reposition tables and chairs to widen AR to compliant 36" clear width.	\$0.00	1	staff time	\$0.00	1
Northside Girl Scout Cabin	29	Public Spaces	Hazards	Relocate protruding objects or place cane detectable warning or bollard at foot of item.	\$350.00	1	each	\$350.00	1
Northside Girl Scout Cabin	30	Public Spaces	Accessible Routes	Secure rug to prevent trip hazard.	\$140.00	2	each	\$280.00	1
Northside Girl Scout Cabin	31	Public Spaces	Accessible Routes	Fill and maintain gaps to max .5". Replace air duct grate with one having openings max .5".	\$332.50	1	each	\$332.50	1
Northside Girl Scout Cabin	32	Public Spaces	Reach Ranges	Remount operable parts to be in reach range of 15" min to 48" max where feasible. Provide an adaptive device to reach window latches.	\$350.00	3	each	\$1,050.00	2
Northside Girl Scout Cabin	33	Public Spaces	Accessible Routes	Repair, bevel or ramp CIL along accessible route (AR) to max .25". Leave as is lack of route to loft and assure equivalent amenities are provided on the main level.	\$96.25	1	each	\$96.25	1
Northside Girl Scout Cabin	34	Public Spaces	Operable Parts	Replace operable part with one usable without a tight pinch or grasp or provide an adaptive device to open windows.	\$210.00	3	each	\$630.00	2



WHEATON PARK DISTRICT TRANSITION PLAN

Responsible Person: Brian Morrow Phone: (630)510-4975

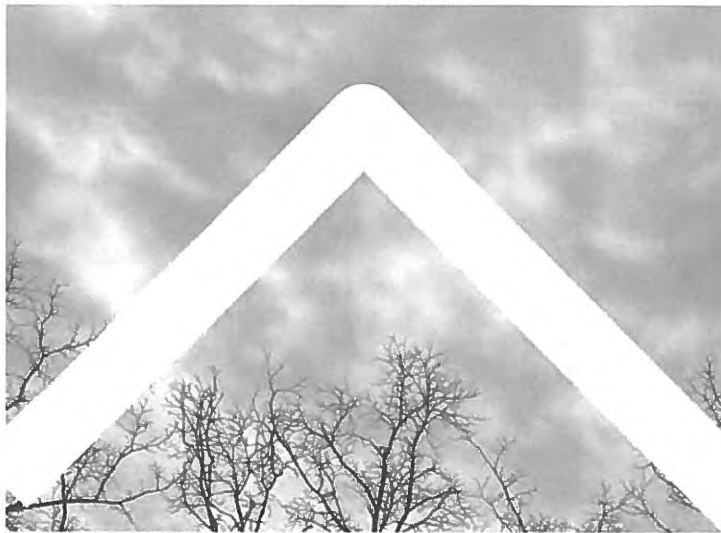
Site	Finding #	Area	Type of correction	Recommendation	Price/unit	# of units	unit type	Total cost	Phase
Northside Girl Scout Cabin	35	Restrooms	Doors	For all doors/gates along the public circulation route, provide required maneuvering clearance on push and pull side of doors/gate. For all doors/gates along the public circulation route, replace hardware with lever hardware or hardware operable without a tight pinch or grasp.	\$4,014.50	1	each	\$4,014.50	1
Northside Girl Scout Cabin	36	Restrooms	Toilet and Bathing Rooms	Acquire and mount signage, including Braille, raised lettering and access symbol mounted on wall, latch side of door, 48" to baseline of lowest character and 60" to baseline of highest character.	\$210.00	1	each	\$210.00	1
Northside Girl Scout Cabin	37	Restrooms	Toilet and Bathing Rooms	Replace mirror mount to max 40" AFF to the bottom reflective surface and 74" to the top.	\$350.00	1	each	\$350.00	1
Northside Girl Scout Cabin	38	Restrooms	Plumbing Fixtures & Elements	Relocate step stool to provide toe clearance.	\$0.00	1	staff time	\$0.00	1
Northside Girl Scout Cabin	39	Restrooms	Plumbing Fixtures & Elements	Insulate exposed pipes under one sink.	\$77.00	1	each	\$77.00	1
Northside Girl Scout Cabin	40	Restrooms	Toilet and Bathing Rooms	Relocate partition to provide required 60" clearance around toilet.	\$0.00	1	staff time	\$0.00	1
Northside Girl Scout Cabin	41	Restrooms	Toilet and Bathing Rooms	Remount toilets to 16" to 18" from the side wall to centerline.	\$1,828.40	1	each	\$1,828.40	1
Northside Girl Scout Cabin	42	Restrooms	Toilet and Bathing Rooms	Replace toilet seat, or re-set or replace toilet to 17" to 19" above the finished floor (AFF).	\$1,828.40	1	each	\$1,828.40	1
Northside Girl Scout Cabin	43	Restrooms	Toilet and Bathing Rooms	Replace side grab bar with a 42" long bar mounted to max 12" from the rear wall at the close end and min 54" on the far end, and 33" to 36" AFF.	\$393.75	1	each	\$393.75	1
Northside Girl Scout Cabin	44	Restrooms	Toilet and Bathing Rooms	Replace rear grab bar with one 36" long, mounted behind the toilet, 12" to the wall side of center and 24" to the open side and 33" to 36" AFF.	\$393.75	1	each	\$393.75	1



WHEATON PARK DISTRICT TRANSITION PLAN

Responsible Person: Brian Morrow Phone: (630)510-4975

Site	Finding #	Area	Type of correction	Recommendation	Price/unit	# of units	unit type	Total cost	Phase
				Remount toilet paper dispenser max 7" to 9" from front of toilet, 15" to 48" above the finished floor (AFF) and min 12" above or 1.5" below grab bar.					
Northside Girl Scout Cabin	45	Restrooms	Toilet and Bathing Rooms	Pricing for replacing non-compliant side bar is in a previous finding.	\$0.00	1	staff time	\$0.00	1
Northside Girl Scout Cabin	46	Restrooms	Turning Space	Relocate obstacles to create turning space in restroom.	\$0.00	1	staff time	\$0.00	1
Northside Girl Scout Cabin	47	Restrooms	Hazards	Place cane detectable warning or bollard at foot of sink.	\$350.00	1	each	\$350.00	1
Northside Girl Scout Cabin	48	Restrooms	Accessible Routes	Resurface or repair floors to be firm, stable and slip resistant.	\$122.50	25	sq ft	\$3,062.50	1
Total								\$59,134.80	



Wheaton Park District: Girl Scout Cabin Study

Comparative Analysis Report for
Stabilization vs Reconstruction

October 4, 2024

Wheaton Park District: Girl Scout Cabin Study

Table of Contents

- A. Building History
- B. Purpose
- C. Methodology
- D. Executive Summary of Findings and Recommendations
 - 1. Stabilization
 - 2. Replacement Log Cabin
 - a. Program
 - b. Replacement Log Structure
 - c. Mechanical, Electrical, Plumbing and Life Safety Systems
 - d. Alternate: Full electrification
 - 3. Summary of Opinion of Probable Costs
- E. Standard of Care

Appendix

- A. Code Analysis
- B. Stabilization Documents
- C. Concept Replacement Log Cabin Plan
- D. Detailed Opinion of Probable Costs



A. Building History

The construction of the Girl Scout Cabin (*Figure 1*), located at the southeast corner of Northside Park in Wheaton, IL, was completed in 1938. The building was built in part by residents hired by the Wheaton Park District through the Works Progress Administration (WPA), a New Deal Agency. Some other improvements to Northside Park executed by residents included a baseball walkway around the Memorial Obelisk and the digging of Northside Lagoon which created the Bertha Robinson Murry Island. The Girl Scout Cabin was built using traditional log construction.



Figure 1. The Girl Scout Cabin, Northside Park in Wheaton, IL.

B. Purpose

The purpose of this study is to provide the Wheaton Park District with sufficient information to determine the future of the Girl Scout Cabin as a structure and the programs it offers to the public.

C. Methodology

On August 13, 2024, our team conducted an architectural and structural visual assessment of the Wheaton Park Girl Scout Cabin. The architectural assessment was conducted by Melissa Smith and Austin Villejo of AltusWorks, Inc. and the structural assessment was conducted by Ken Karston of K.Eng LLC.

The team visually assessed the conditions of the Girl Scout Cabin in comparison to the conditions assessment performed by AltusWorks, Inc. and K.Eng LLC in 2022 to determine if there had been additional degradation since the previous assessment. Assessments were performed from grade and interior floor areas. The team also observed the Girl Scout Cabin to confirm dimensions and



existing systems to propose a replacement structure which would mimic the floor plan configuration, volume, massing, fenestration pattern and log construction. Exterior and interior systems were observed including log walls, roof structure, stone wall and fireplace/chimney, the interior wood mezzanine, MEP systems, foundations, windows, and interior partitions. No access to roof areas, mezzanine, or foundations was provided. No destructive or non-destructive testing was performed.

Our findings were used to update the stabilization recommendations from 2022 to include new degradation and an update opinion of probable costs. Our findings were also used to create a design for the proposed log cabin replacement structure. The stabilization recommendations indicate immediate 0-2 repairs needed to structurally stabilize the structure while the replacement log cabin scope indicates a long-term plan for demolishing and rebuilding the existing structure. Probable costs to implement these two options are detailed in **Appendix C**.

D. Executive Summary of Findings and Recommendations

1. Stabilization

Stabilization of the cabin will require localized log replacement, chinking and daubing repair/replacement, window restoration, mezzanine reinforcement, and roof replacement. The south wall of the cabin requires structural stabilization. The recommended system is vertical bracing installed on concrete footings set a few feet away from the wall surface. The bracing will be visible and change the appearance of the cabin.

2. Replacement Log Cabin

a) Program

Although the Girl Scout Cabin is used year-round, its primary purpose is to host Northside Park's summer camps which run from late May to mid-August, Monday through Friday, from 8am to 4pm and typically have around 20 people. Lincoln Marsh nature programs will also use the cabin for several months throughout the year in case of inclement weather; times vary with each program. The cabin can also be rented by the public for meetings or events, for example birthday parties.

The replacement cabin was designed with the desires of the Park in mind. The replacement cabin mimics the footprint of the existing cabin but adds features that were requested by the Park. Storage space was increased per Park requests, and areas for lockable storage have been added. The stone wall, fireplace, and chimney will remain from the original structure as a central accent point. The Main Room was left as large open space for various camp activities. The kitchen remains a simple warming kitchen with a refrigerator and sink; the stove has been removed and additional counter space has been added. The existing restroom has been moved so it is more easily accessible from the Main Room. A second restroom has been added which is accessible from the exterior, per Park request.

b) Replacement Log Structure

The replacement structure will match the configuration, massing and fenestration pattern of the historic cabin. The structure will be comprised of main room, mezzanine and stone wall with lean-to structures at the rear. The replacement log structure shall comply with the code (insert the code Ken referenced) for the construction of new log structures. The exterior wall assembly will meet current



energy codes by providing a dual wall construction – exterior structural log wall, , air space with mineral wool insulation, and an interior log finish to replicate the aesthetic of the original cabin. The roof structure will be of exposed log beams, steel tie rods, and plank sheathing covered by rigid insulation and cedar shakes. The stone wall, fireplace and chimney will be restored. 2 ADA toilet rooms, a mechanical room, kitchen, janitors' closet, and storeroom will be located within the rear lean-to structure. Within the main space, a replica mezzanine will an 'L' shaped wood stair with locked storage units will be provided. The structure will be supported on concrete foundations with a concrete slab on grade as the main floor surface. New building systems will be concealed within the structure so that no new electrical conduit, ductwork or plumbing will be visible.

The utilities will be new and relocated or screened from view. In keeping with sustainable design practices, an alternate to fully electrify the cabin has been included in the opinion of probable costs.

c) Mechanical, Electrical, Plumbing and Life Safety Systems

Provide new energy efficient building systems to support the programs offered in the cabin.

Mechanical Approach

1. Ventilation

The cabin will be supplied ventilation via a new energy recovery ventilator that will be placed in the new mechanical room. The ductwork distribution to the spaces will be laid out under slab and be hidden completely. Ductwork will be installed with balance dampers to help regulate the air. Air terminals for supply and return will be provided where necessary. A CO2 sensor will be installed in the Main Room. When occupancy is low, it will modulate down to the minimum outside air required.

2. Unit Heaters

Bathrooms will be independently heated using unit heaters due to their exposure to the outdoors and will be important during the harsh winter conditions.

3. Heating and cooling

A new gas furnace packaged with air conditioning capabilities will be located on site. The unit will be converted to run on propane as no natural gas is available on site. The furnace will be provided with a new DX cooling coil and associated air-cooled condensing unit on grade. New outdoor equipment will be placed on a new concrete pad and screened with fencing (see architectural).

Plumbing Approach

1. Utility Service

The cabin will be connected to the municipal water system through the existing incoming water service line. Water meter, isolation valves and a backflow preventer device on the incoming water service will be provided. Additionally, the existing sanitary sewer connection which ties into the municipal sewer system will be reused. Stormwater runoff will be managed through a storm sewer connection to handle rainwater and prevent pooling around the structure.



2. Potable Water
Provide domestic water piping distribution systems to plumbing fixtures and equipment. Domestic water piping shall be insulated up to plumbing fixture connections.
3. Domestic Hot water
Domestic hot water service will be provided by a propane gas-fired water heater with expansion tank. Hot water will be supplied to the lavatories, kitchen sink, and mop basin. Underground propane gas piping will connect the water heater to an exterior propane tank, ensuring sufficient fuel for the heating system. This system will meet the demand for hot water needs in the facility.
4. Waste and Vent
Plumbing fixtures shall be drained by gravity through a sanitary waste and vent piping system that conveys wastewater and vapors from fixtures and equipment throughout the building to points 5 feet outside the building and vented through the roof.
5. Storm
Roof drainage and building drains will be tied to site storm sewer.
6. Plumbing fixtures
Provide new plumbing fixtures. Floor drains and floor sinks will be provided in restrooms, kitchens, and mechanical room. Trap primers will be provided for infrequently used drains. Exterior non-freeze wall hydrants (hose bibbs) will be provided.

Electrical Approach

1. Utility Service
The existing ComEd owned pad mounted transformer will be relocated away from the cabin toward the parking lot. A new underground service lateral will be installed from the new transformer location to a meter pedestal with main circuit breaker located on a cabin exterior wall. A feeder will be routed from the meter pedestal to a 200A, 42 pole, 240/120V panelboard located in the mechanical room.
2. Receptacles
GFCI receptacles will be installed in the following locations: restrooms, exterior, kitchen counters, mechanical room, janitor closet. Non-GFCI receptacles will be installed in the main room, loft and storage room. Branch circuit rated at 120V, 20A will supply receptacle circuits.
3. Lighting & Lighting Controls
LED light fixtures will be installed in each room and near each exit. Battery backed emergency lighting units will be installed in each room. Exterior lighting near exits will be battery backed. Battery backed, illuminated exit signs will be located at each exit. Lighting controls will consist of local vacancy sensors. Outdoor lighting will be controlled via a timeclock. Branch circuits rate at 120V, 15A will supply lighting circuits.



4. Mechanical Equipment

Mechanical equipment as described in the mechanical and plumbing sections will be supplied power via branch circuits fed from the new main service panel.

5. Fire Alarm

Combination smoke/carbon monoxide detectors will be located in each room except the kitchen. The detectors will be interconnected and will alarm locally. The detectors will be AC mains power and be equipped with battery back-up.

d) Full electrification:

To address sustainability, we propose an alternate to fully electrify the replacement structure. Electrification will advance the Park's sustainability goals while eliminating the ground mounted propane tank which fuels the heating equipment and hot water heater.

3. Opinion of Probable Costs:

((a summary of the costs will be inserted))

E. Standard of Care

AltusWorks, Inc.'s and our consultant's professional services for the preparation of an Assessment Report are exercised with reasonable care and competence. AltusWorks' standard of care is in conformance with industry standard, with the understanding that, because of the physical properties of the many materials and systems commonly used for the construction of buildings, and the limitation on detecting concealed or operational issues, the Assessment Report may not have found "unsafe and imminently hazardous conditions" in the building that are not visibility apparent. Therefore, submittal of the Assessment Report is not a representation that all "unsafe and imminently hazardous conditions" in the building have been identified.

The Assessment Report to be prepared by AltusWorks, Inc., shall not be construed to warrant or guarantee the building and/or any of its components under any circumstances. AltusWorks shall not be responsible for latent or hidden defects that may exist, nor shall it be inferred that all defects have been either observed or recorded. The review was intended solely to identify the general conditions for the building and the necessity of repairs. The Assessment Report shall not constitute a detailed specification for repairs and shall not be used to perform the actual repairs.



Appendix A: Code Analysis

CLIENT	Wheaton Park District - Northside Girl Scout Cabin			
LOCATION	1417 N West St, Wheaton, IL 60187			
AWI NO.	24-012			
DATE	Updated: 09/04/2024			
PROJECT PARAMETERS				
MUNICIPALITY	City of Wheaton IL			REMARKS
ADDRESS	303 W Wesley St, Wheaton, IL 60187			
WEB LINKS	Application for Permits Community Development (building department) Forms & Permits Contractor Requirements Adopted Building Codes Wheaton Code Amendments		Residential / Commercial Projects & Permits Wheaton, IL Building Department Information Wheaton, IL Building Projects & Permits Wheaton, IL Contractor Requirements Wheaton, IL Adopted Building Codes Wheaton, IL Wheaton Building Code Amendments Wheaton, IL	
PHONE	630-260-2050	M-F 8am - 5pm		
SUBMITTAL	Permit Submittal Process, Required Submittals, and Inspections		Permit Submittal Process Wheaton, IL	
APPLICABLE CODES	TITLE	YEAR	CODE	
	Comprehensive Building Codes			Code of Ordinances Wheaton, IL Municode Library
	Zoning Ordinance			Document Center • Wheaton, IL • CivicEngage
	Maps (Zoning and others)			https://www.wheaton.il.us/380/Maps
	International Building Code	2018	IBC	2018 International Building Code (IBC) (iccsafe.org)
	International Existing Building Code	2018	IEBC	2018 International Existing Building Code (IEBC) (iccsafe.org)
	International Fire Code	2018	IFC	2018 International Fire Code (IFC) (iccsafe.org)
	International Mechanical Code	2018	IMC	2018 International Mechanical Code (IMC) (iccsafe.org)
	International Fuel Gas Code	2018	IFGC	2018 International Fuel Gas Code (IFGC) (iccsafe.org)
	International Plumbing Code	2018	IPC	2018 International Plumbing Code (IPC) (iccsafe.org)
	National Electric Code	2017	NEC	NFPA 70
	Illinois Energy Conservation Code	2021	IECC	Illinois Energy Conservation Code (20 ILCS 3125/15)
	Illinois Plumbing Code	2014		PART 890 ILLINOIS PLUMBING CODE : Sections Listing (ilga.gov)
	Illinois Accessibility Code	latest (2018)		410 ILCS 25/ Environmental Barriers Act. (ilga.gov)
	Illinois Electric Vehicle Charging Act			765 ILCS 1085/ Electric Vehicle Charging Act. (ilga.gov)
GENERAL ANALYSIS	TOPIC		IBC	REMARKS
BLDG DATA				
OCCUPANCIES	Occupancies: Business B		303.1.1	Occupant load of 50 people or more; larger than 750 SF; if occupancy is less than 50 or building is smaller than 750 sf, building is classified as Group B (Business) occupancy > Occupancy load of 49, so B
	Maximum Occupancy = 49		T1004.5	main and kitchen = 1,129 sf / 20 net = 56 occupants
CONSTR. TYPE	IIb, not sprinkled		Chap 6	1,548 sf, 1 story, 15' tall actual at mean of roof (~20' tall at peak)
	Height Limitations		T504.3	Greater than 30' away from any neighboring structure > exterior walls can have 0 hour rating
	Number of Stories		T504.4	
	Mezzanines		505.2	
	Area Limitations		T506.2	
ZONING	ZONING			
	Residential District (single-family, elementary/high schools, parks)		Map	R3 (adjacent to but not in an overlay district)
	Screening of equipment		3.4.C.1	screened from public ROW and adjacent residential districts

GENERAL	Yard Required Improvements	Maximum Lot Coverage	9.2	33 and 1/3%
		Max Height		35' or 2.5 stories, whichever is less
		Front yard		30'
		Side yard		10' (3.4.A.5)
		Rear yard		25' (3.4.A.6)
		Min lot depth		132'
		Min lot width		70'
		Min Lot Size		1.5 acres (65,340 sf)
		FAR		40%
	Parking		22.5.17	ETR (1 parking space per 600 sf floor area: 1,478 sf = 3 standard parking spaces)
	IBC			
	Occupancy Separation		T508.4	No separation required/not applicable
	Boiler or Furnace Room		T509	1hr for furnaces >400,000 btus or boilers >15psi and 10hp
	Fire Resistance Rating Building Elements (VB)	Struct. Frame	T601	0hr
		Bearing Walls		0hr
		Non Brg Wall		0hr
		Floor Const.		0hr
		Roof Const.		0hr
	Fire Resistance Rating Exterior Walls (FSD)		T602	0hr because >30'
	Combustible Materials			NA
	Hazardous Materials			NA
	Sprinklers			
	Fire Extinguishers		906.1.2	Within 30' of commercial cooking equipment
			906.1.3	In areas where flammable or combustible liquids are stored
			906.3.1	(1) 2-A rated extinguisher per 3,000sf, 75' maximum travel distance
Manual Fire Alarm (not required)		907.1.2	Shop drawings req'd prior to installation NFPA 72	
		907.2.1	Not req'd for sprinklered bldgs with occupant notification appliances	
		907.2.1	Not required because occupant load is less than 300 (70 occ.)	
Interior Finishes	B	T803.13	Int Exit Stairways/Ramps/Exit Passageways = B Corridors = B Rooms and enclosed spaces = C	
		803.3	Heavy timber exemption: exposed portions of building elements complying with 602.4 or 2304.11 shall not be subject to interior finish requirements	
		803.1.2	Class A: FSI = 0-25, SDI = 0-450	
		720 Insulation		
		602.4	not relevant (type IV construction)	
EGRESS	IBC			
	Occupant Load	Assembly (Unconcentrated)	T1004.5	20 net sf/occupant
	Ceiling Height		1003.2	7'-6" min.
	Head Room		1003.3.1	80" minimum for protruding objects (loft is 84" AFF)
	Elevation Change		1003.5	Elevation changes less than 12" can use a 1 to 20 (5%) slope.
				Slopes > 5% must be ramps, requiring handrails or contrasting floor finishes when change is 6" or less in height (conflicts with 1010.8).
				Single step is ok in F & S uses.
	General Door Measurements			Minimum door height is 80" (6'-8"). Clear width 32" (2'-6").

Egress Width	1005.3.2	0.15 inches per occupant for sprinklered building = 10.5". Doors; 32" clear width min. as per 1010.1.1
Door Encroachment	1005.7.1	Swing can encroach 50% into req'd egress width, and door cannot be more than 7" inside same width.
Egress Illumination	1008.2.1	1 footcandle.
Door Swing	1010.1.2.1	Doors shall swing in the direction of egress unless occupancy load is 50 or less.
Hardware	1010.1.9.2	Install between 34" and 48" AFF.
	1010.1.10	Provide panic hardware for A occupancy >50 occupants.
Stairways	1009.4	44"
	1005.3.1	0.2 (for sprinklered) x 1 occupant = 0.2" > 44" min per 1009.4
Handrails	1012.9	within 30" reach from any point.
Guardrails	1013.2	req'd when >30" vertical drop and w/in 36" horiz.
Required number of Exits	T1006.2.1	Two exits req'd if occupant load exceeds 49
	1004.1.1.1	Cumulative load shall occur if egress includes intervening rooms or spaces.
	1007.1.1	where two exit access doorways or stairs are present should be placed apart not less than half the length of the overall maximum diagonal dimension of the building
Common Path of Egress Travel	T1006.2.1	75'
Travel Distance	T1017.2	250' (with sprinkler)
Obstacles Illuminated with Luminescence	1025	Not required for low-rise buildings

ACCESSIBILITY

Illinois Accessibility Code (2018)	IAC	https://cdb.illinois.gov/content/dam/soi/en/web/cdb/business/codes/illinoisaccessibilitycode/documents/2018-illinois-accessibility-code.pdf
Chapter 11 of IBC 2012		https://codes.iccsafe.org/content/IBC2018P2/chapter-11-accessibility
2010 ADA Standards for Accessible Design		https://www.ada.gov/law-and-regs/design-standards/2010-stds/
Environmental Barriers Act		https://www.ilga.gov/legislation/ilcs/ilcs3.asp?ActID=1519&ChapAct=
Accessible Means of Egress	3411.7	30" x 48" area of rescue assistance to be provided, 1 per inaccessible exit.
Communication Elements & Features (ANSI)	Ch 7	Signage
Accessible Route	402.2	Comply with 402; walking surfaces cannot exceed a slope of 1 to 20.
Parking	502	96" (car), 132" (van) wide with 5' access aisle.
Stairways	504.2	4-7"R x 11" T Min.
Thresholds		1/2" maximum with beveled edges.
Clear Ground Space	305.3	30"x48"
Lavatory Mirror	603.3	B/Mirror maximum 40" AFF
Doors		Need 2 accessible exits minimum
Door Opening Force	404.2.8	Interior hinge 5.0lbs max; sliding or folding 5.0lbs max; exterior 8lbs max
Dimensions	IAC App. A, Fig. 28	Toilets = 18" from wall.
	IAC App. A, Fig. 28, 29 & 39	grab bars
	604.2, 604.3.2	Clearance around toilet 60"; CL of toilet 18" from wall
Clearances for Seating and Tables	IAC App. A, Fig. 45	

ENERGY

IECC 20 ILCS 3125 Subpart B (state-funded) 2021 edition	IECC	buildings on National or Illinois Historic Register are exempt (this building is not currently listed)
	Compliance	compliance forms in ASHRAE 90.1 User Manual; Compliance Certificates from US Dept of Energy COMCheck; seal of A/E as required
Zone	F301.1	Zone SA
Walls	Mass	TC402.1.3
		R11.4ci

LOG CABIN CODE	Wood Framed & Other		R13 + 7.5ci, or, R20 + R3.8ci	
	Roof	Attic	R-30	
		Above Deck	R-30ci / U-0.032	
	Windows (U value)	Fixed	TC402.4	0.36
		Operable		0.45
		Doors		0.63
	Windows (SHGC) with Projection Factor	<0.2	TC402.4	0.38
		0.2-0.5	TC402.4	0.46
		>0.5	TC402.4	0.61
	Entrance Doors	U-Factor	TC402.4	U-0.37
	MISC			
	IPC			
	Bathroom fixtures - IPC			
	Minimum Number of Fixtures		T403.1	Same as IBC
	Water Conservation (GPM)	WC	1.28	
		Shower	2	
		K Faucet	2	
		L Faucet	1.5	
	Electrical Service		100A (New)	
	Bathroom Fixtures - Illinois Plumbing Code		5 890	1M and 2W for Assembly occ of 1-100
	Bathroom Fixtures - IBC			
	Minimum Number of Fixtures	Water Closets	T 2902.1	M 1 per 125; F 1 per 65: 50% must be ADA compliant
		Lavatories	T 2902.1	1 per 200
		Bathubs/Showers	T 2902.1	none
		Drinking Fountains	T 2902.1	1 per 500
		Other	T 2902.1	1 service sink
2022 ICC 400 Standard on the Design and Construction of Log Structures				
			https://codes.iccsafe.org/content/ICC4002022P1	
FOR REPLACEMENT CABIN				
PROPOSED PROGRAM	Main Room	872 SF		
	Storage Mezzanine	236 SF		
	All-Gender ADA Restroom, adjacent to Main Room	72 SF		
	All-Gender ADA Restroom, accessed via exterior	72 SF		
	Mechanical Room, accessed via exterior	40 SF		
	Warming Kitchen, with refrigerator and sink	175 SF		
	Janitor Closet, adjacent to Warming Kitchen	26 SF		
	Storage Closet, adjacent to Warming Kitchen	55 SF		

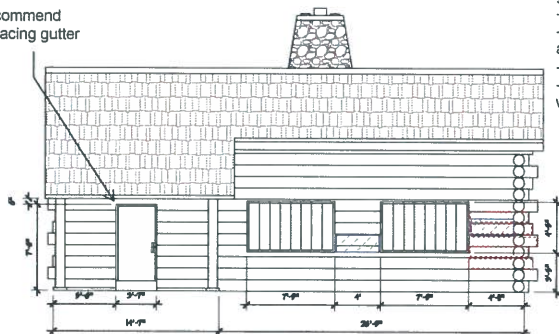


Comparative Analysis Report

Appendix B: Stabilization Documents

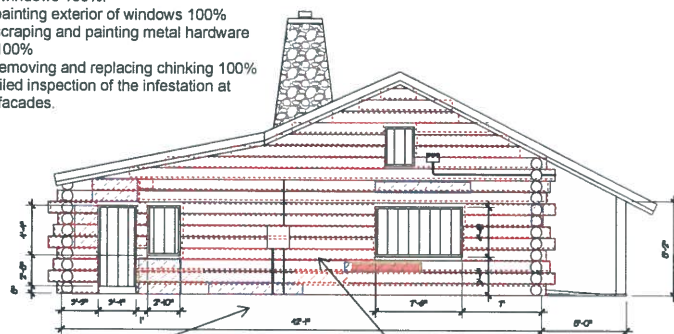
NORTH ELEVATION

Recommend replacing gutter



- Recommend replacement of perimeter sealant and glazing putty at windows 100%
- Recommend painting exterior of windows 100%
- Recommend scraping and painting metal hardware at the shutters 100%
- Recommend removing and replacing chinking 100%
- Carry out detailed inspection of the infestation at west and north facades.

EAST ELEVATION

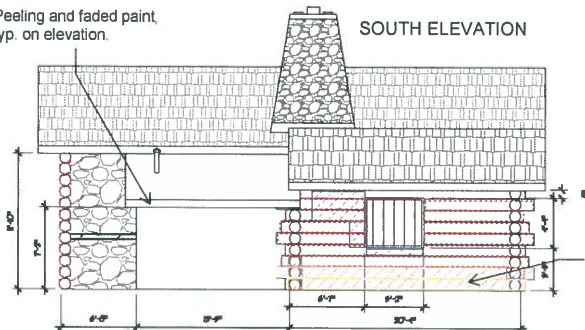


Hole in landscape along foundation

Evidence of infestation across the entire elevation

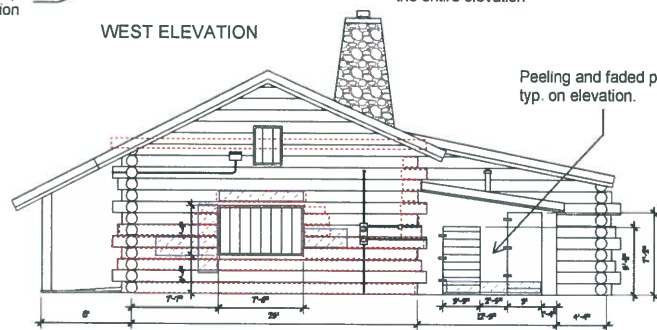
Peeling and faded paint typ. on elevation.

SOUTH ELEVATION



Evidence of infestation

WEST ELEVATION



Peeling and faded paint, typ. on elevation.

Notes: The number of logs per elevation are just representative and are not accurate

- Replace log or large dutchman Repair
- Replace Crown portion of log

- Repair logs

- Recommend removing and replacing chinking at noted locations during immediate repairs



WHEATON PARK DISTRICT

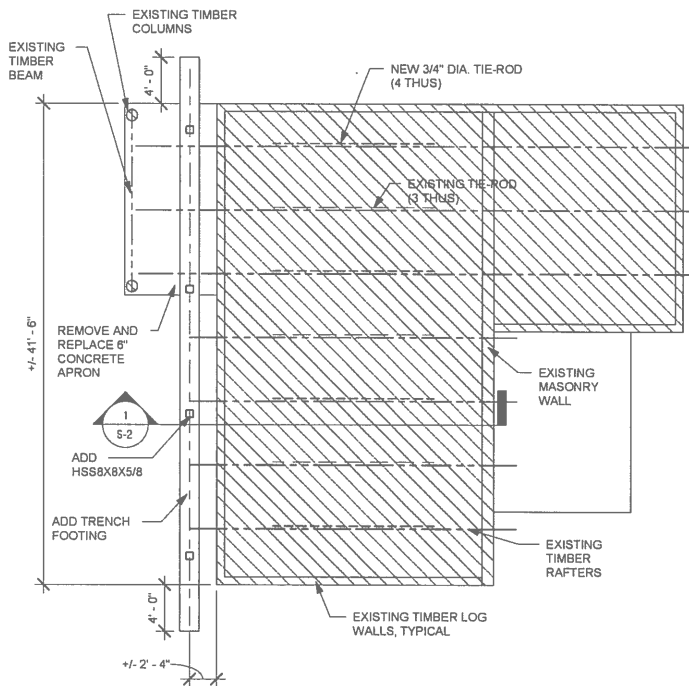
102 E. WILSON WHEATON, IL 60157
630.333-4710

**NORTHSIDE
GIRL SCOUT CABIN
EXTERIOR ELEVATIONS**

drawn by	FWB	revised by	
date	1/10/2009	date	
checked by		revised by	
date		date	
file name	GS-6-10-09.dwg	revised by	
description		date	

GS-6

Sheet 6 of 6



NOTE

1. ADDITIONAL COMPONENTS SHOWN, TIE-RODS, FRAMES, AND FOUNDATION, ARE BEING PROVIDED TO STABILIZE THE EXISTING BUILDING. THE BUILDING'S COMPLIANCY WITH CURRENT BUILDING CODE IS NOT BEING ADDRESSED AT THIS TIME.

2. REFER TO THE REPAIR SCOPE MATRIX AND ASSOCIATED BUILDING ELEVATIONS FOR THE REQUIRED REPAIR WORK.

① STABILIZATION OF EXISTING STRUCTURE - PLAN
1/8" = 1'-0"



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ISSUE	ISSUE DATE

**WHEATON PARK
GIRL SCOUT CABIN STUDY**

**STABILIZATION OF
EXISTING CABIN**

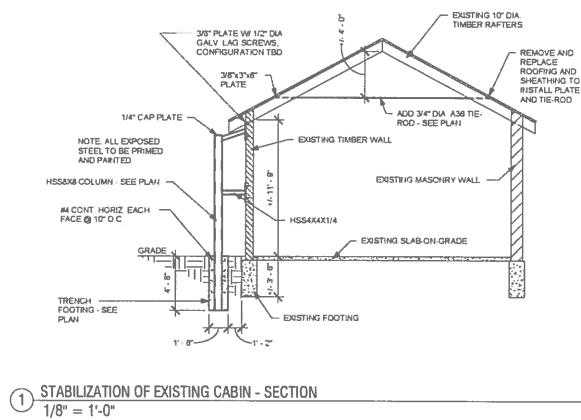
Project No.	24-012
Drawn By	Author
Checked By	Checker
Approved By	Checker
Drawing No.	S-1

ISSUE	ISSUE DATE

**WHEATON PARK
GIRL SCOUT CABIN STUDY**

**STABILIZATION OF
EXISTING CABIN**

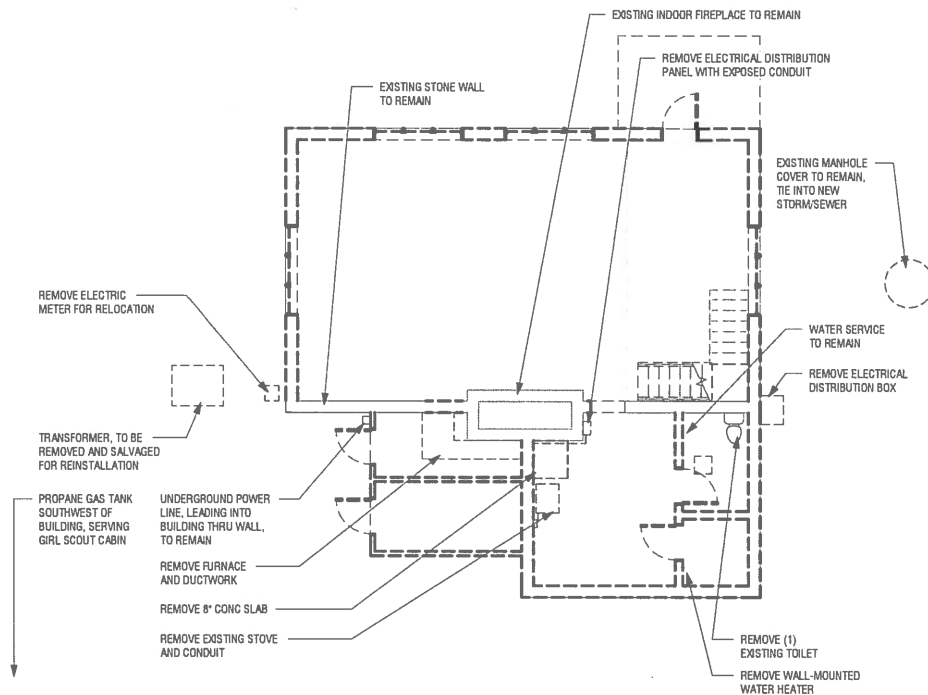
Project No.	24-012
Drawn By	Author
Checked By	Checker
Approved By	Checker
Drawing No.	S-2



① **STABILIZATION OF EXISTING CABIN - SECTION**
1/8" = 1'-0"



Appendix C: Concept Replacement Log Cabin Plan



1 FIRST FLOOR PLAN - DEMOLITION
1/8" = 1'-0"

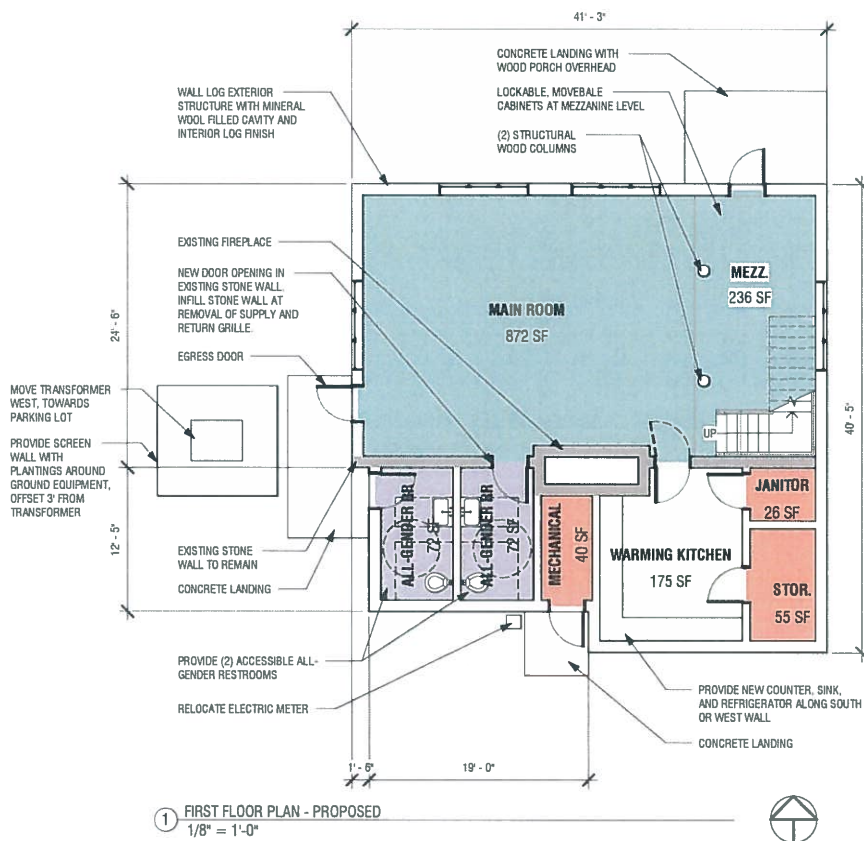


ISSUE	ISSUE DATE

**WHEATON PARK
GIRL SCOUT CABIN STUDY**

DEMO DESIGN

Project No.	24-012
Drawn By	MLS
Checked By	EFS
Approved By	EFS
Drawing No.	A-1



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NOT FOR CONSTRUCTION

ISSUE	ISSUE DATE

**WHEATON PARK
GIRL SCOUT CABIN STUDY**

PROPOSED DESIGN

Project No.	24-012
Drawn By	MLS
Checked By	EFS
Approved By	EFS
Drawing No.	A-2



F. Appendix D: Detailed Opinion of Probable Costs



Girl Scout Cabin Stabilization Study

Owner: Wheaton Park District

	Costs	General Conditions OH % Profit, Environmental	Escalation (1 year)	STUBTOTAL	Escalation (5 years)	Total
Stabilization	\$152,842	\$150,948	\$11,904	\$315,694	\$50,473	\$366,167
Roof Replacement	\$36,197	\$35,749	\$2,819	\$74,765	\$11,953	\$86,719
TOTAL COST OF WORK	\$189,039	\$186,697	\$14,723	\$390,459	\$62,426	\$452,885



STABILIZATION SCOPE

PROJECT: WHEATON GIRL SCOUT CABIN STUDY
GIRL SCOUT LOG CABIN STABILIZATION

LOCATION	ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	EXTENSION	SUBTOTAL
STABILIZATION OF EXISTING GIRL SCOUT CABIN						
Full Cabin	Perform a detailed inspection of insect infestation	1	LS	\$2,500.00	\$2,500	
Exterior Walls	Replace wood logs at locations of significant deterioration.	65	LF	\$70.00	\$4,550	
Exterior Walls	Repair wood logs at locations of significant deterioration.	120	LF	\$40.00	\$4,800	
Exterior Walls	Remove all non-original daubing (e.g. rigid mortar) and replace with a tuned mixture of clay, sand, and lime. Remove and replace damaged chinking and provide chinking where required but missing. Allow time to ensure logs are fully dry prior to repairs.	3,530	LF	\$25.00	\$88,250	
Exterior Walls	Repair wood logs damaged by wood rot. Splice in replacement sections matching existing wood species and size. For logs with deterioration over 50% of log length, full log replacement is required (will require temporary shoring of logs remaining above).	65	LF	\$75.00	\$4,875	
Windows	Replace perimeter sealant and glazing putty at all windows.	140	LF	\$9.50	\$1,330	
Windows	Paint window frames and sashes.	200	SF	\$7.50	\$1,500	
Windows	Repair or replace damaged window hardware at all windows.	6	EA	\$750.00	\$4,500	
Rear Addition	Clean and paint vertical clapboards.	1,160	SF	\$6.50	\$7,540	
Exterior Walls	Provide metal frame within concrete trench at exterior of cabin to stabilize structure. Refer to drawings for components and dimensions.	1	LS	\$25,000.00	\$25,000	
Mezzanine	Repair mezzanine long spanning beam. Add 14" LVL lamination to existing 14 1/2" deep 4-ply beam. LVL to be nailed to existing laminations with (2) rows of 16d common nails @ 12" o.c. Beam span is approximately 22'-6" long.	1	LS	\$5,000.00	\$5,000	
	Subtotal					\$149,845
	General Construction Allowance	2%			\$2,997	
	Subtotal					\$152,842
	Mobilization/Demobilization/Site Inspections/Protections - Allowance	10%			\$15,284	
	General Conditions & Bond	20%			\$33,625	
	Insurance	1.8%			\$3,632	
	Contractor's Fee	5%			\$10,269	
	Design Contingency	15%			\$32,348	
	Construction Contingency	20%			\$49,600	
	SUBTOTAL: (Total Construction Costs w/o Environ.)					\$297,600
	Escalation - 4%	4.0%			\$11,904	
	Subtotal					\$309,504
	Environmental Allowance	2%			\$6,190	
	TOTAL ESTIMATED CONSTRUCTION COSTS					\$315,694



ALTUSWORKS INC.

ROOF REPLACEMENT SCOPE

PROJECT: WHEATON GIRL SCOUT CABIN STUDY
GIRL SCOUT LOG CABIN STABILIZATION

LOCATION	ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	EXTENSION	SUBTOTAL
Roofing System	Tear off existing roofing systems down to existing sheathing. Provide 3/4" cedar shakes over 100% ice/water shield, 5" polyisocyanurate insulation, stained cedar fascia and eave. Pre-finished round aluminum gutter system (165 LF) with round downspouts (4).	1,700	SF	\$18.50	\$31,450	
Roof deck	Patch deteriorated roof sheathing with 2x6 tongue and groove Southern Pine decking. Assumes 25% replacement.	425	SF	\$9.50	\$4,038	
	Subtotal					\$35,488
	General Construction Allowance	2%			\$710	
	Subtotal					\$36,197
	Mobilization/Demobilization/Site Inspections/Protections - Allowance	10%			\$3,620	
	General Conditions & Bond	20%			\$7,963	
	Insurance	1.8%			\$860	
	Contractor's Fee	5%			\$2,432	
	Design Contingency	15%			\$7,661	
	Construction Contingency	20%			\$11,747	
	SUBTOTAL: (Total Construction Costs w/o Environ.)					\$70,480
	Escalation - 4%	4.0%			\$2,819	
	Subtotal					\$73,299
	Environmental Allowance	2%			\$1,466	
	TOTAL ESTIMATED CONSTRUCTION COSTS					\$74,765



Girl Scout Replacement Cabin Study

Owner: Wheaton Park District

	Costs	General Conditions OH % Profit, Environmental	Escalation (1 year)	STUBTOTAL	Escalation (5 years)	Total
Architecture	\$305,967	\$302,175	\$23,830	\$631,972	\$101,039	\$733,012
Structural	\$168,759	\$166,668	\$13,144	\$348,570	\$55,729	\$404,300
HVAC	\$42,993	\$42,460	\$3,348	\$88,802	\$14,198	\$102,999
Electrical	\$59,512	\$58,774	\$4,635	\$122,921	\$19,653	\$142,574
Plumbing	\$64,347	\$63,549	\$5,012	\$132,908	\$21,249	\$154,157
SUBTOTALS	\$641,577	\$633,627	\$49,969	\$1,325,173	\$211,868	\$1,537,041
Alternate ADD for full Electrification	\$29,672	\$29,304	\$2,311	\$61,287	\$9,799	\$71,085
TOTAL COST OF WORK	\$671,249	\$662,931	\$52,280	\$1,386,460	\$221,666	\$1,608,127



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ARCHITECTURAL SCOPE

PROJECT: WHEATON GIRL SCOUT CABIN STUDY
GIRL SCOUT LOG CABIN REPLACEMENT STRUCTURE

LOCATION	ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	EXTENSION	SUBTOTAL
exterior walls	Typical building interior facing logs; wall logs sawn 8" diameter with "D-log" profile, flat face facing outward; Wood shall be visually graded Doug Fir or Southern Pine #1; The average moisture present at the time of fiber saturation shall not exceed 26%; Exposed wood shall be preservative treated and stained. Provide 2" cavity between D-logs filled with mineral wool insulation to allow drying.	1,350	SF	\$40.00	\$54,000	
main room	Stained red oak wood finish floor with cork underlayment on concrete slab on grade over 8MIL VB	900	SF	\$12.50	\$11,250	
main room	Stain exposed wood roof and exterior wall structure	900	SF	\$15.00	\$13,500	
main room	Strip paint from and clean existing stone wall. Grind and repoint historic stone wall, fireplace and chimney. Clean stones.	1	LS	\$5,000.00	\$5,000	
main room	Create door opening within historic stone wall - steel lintel with stone cladding and jambs to receive wood door assembly	1	LS	\$10,000.00	\$10,000	
mezanine	Stained red oak wood finish floor with cork underlayment over wood structure	250	SF	\$12.50	\$3,125	
mezanine	44" wide, stained red oak stair with square landing and exposed stringers with plank treads and risers	14	RISERS	\$600.00	\$8,400	
mezanine	42" tall painted steel guard rails at mezzanine edge and open side of stair. Provide steel mesh between posts. Stained/polyurethaned wood grip rails at 34" AFF.	25	LF	\$175.00	\$4,375	
Single User toilet	Accessible toilet room - 1 mirror, 1 electric handdryer and 1 of each toilet accessories (TP holder, grab bars, and coat hook)	2	LS	\$1,750.00	\$3,500	
Single User toilet	Partition - Wood stud 16" OC with acoustic insulation. Gypsum wall board, paint.	550	SF	\$16.50	\$9,075	
Single User toilet	Ceramic tile floor and 6" base over thinset.	150	SF	\$25.00	\$3,750	
Single User toilet	Wood ceiling joist 16" OC with GWB, paint	150	SF	\$15.00	\$2,250	
mechanical	Seal coat concrete slab, vinyl base	40	SF	\$5.00	\$200	
mechanical	Partition - Wood stud 16" OC with GWB, paint	320	SF	\$16.50	\$5,280	
mechanical	Wood ceiling joist 16" OC with GWB, paint	90	SF	\$15.00	\$1,350	
warming kitchen	Partition - Wood stud 16" OC with GWB and PVC wall panels.	550	SF	\$16.50	\$9,075	
warming kitchen	Epoxy floor over concrete slab, 4" vinyl base	175	SF	\$30.00	\$5,250	
warming kitchen	Wood ceiling joist 16" OC with GWB and PVC wall panels.	175	SF	\$15.00	\$2,625	
warming kitchen	Double acting 7'x3' entry door with broom sweep	1	EA	\$2,500.00	\$2,500	
warming kitchen	Paint existing stone wall with epoxy paint.	375	SF	\$3.50	\$1,313	
warming kitchen	1 triple basin sink, 1 hand sink, countertops, and refrigerator	1	LS	\$15,000.00	\$15,000	
Janitor/Storage	Partition - Wood stud 16" OC with GWB and PVC wall panels.	475	SF	\$16.50	\$7,838	



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LOCATION	ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	EXTENSION	SUBTOTAL
Janitor/Storage	Epoxy floor over concrete slab, 4" vinyl base	90	SF	\$30.00	\$2,700	
Janitor/Storage	Wood ceiling joists 16" OC with GWB, paint	90	SF	\$15.00	\$1,350	
Roofing System	Provide 3/4" cedar shakes over 100% ice/water shield, 5" polyisocyanurate insulation, stained cedar fascia and eave. Pre-finished round aluminum gutter system (165 LF) with round downspouts (4).	1,700	SF	\$18.50	\$31,450	
Windows	wood tru-divided lite double hung windows, stain, with plank shutters on exterior. Deep interior stool and jamb extensions with casing and apron.	125	SF	\$350.00	\$43,750	
Shades	Roller shades with woven mesh, SS chain and chain restraint devices	125	SF	\$12.50	\$1,563	
Exterior Doors	style and rail 7'x3' wood entry door assemblies with 1/2-lite IGU and insulated flat panel and closer	3	EA	\$5,000.00	\$15,000	
Exterior Doors	Power door operator at main entry	1	EA	\$7,500.00	\$7,500	
Interior Doors	Style and rail 7'x3' wood interior door assemblies, flat panel and closer	4	EA	\$4,500.00	\$18,000	
	Subtotal					\$299,968
	General Construction Allowance	2%			\$5,999	
	Subtotal					\$305,967
	Mobilization/Demobilization/Site Inspections/Protections - Allowance	10%			\$30,597	
	General Conditions & Bond	20%			\$67,313	
	Insurance	1.8%			\$7,270	
	Contractor's Fee	5%			\$20,557	
	Design Contingency	15%			\$64,755	
	Construction Contingency	20%			\$99,292	
	SUBTOTAL: (Total Construction Costs w/o Environ.)					\$595,751
	Escalation - 4%	4.0%			\$23,830	
	Subtotal					\$619,581
	Environmental Allowance	2%			\$12,392	
	TOTAL ESTIMATED CONSTRUCTION COSTS					\$631,972



ALTUSWORKS INC.

STRUCTURAL SCOPE

PROJECT: WHEATON GIRL SCOUT CABIN STUDY
GIRL SCOUT LOG CABIN REPLACEMENT STRUCTURE

LOCATION	ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	EXTENSION	SUBTOTAL
below grade	typical footing: 12"x20" footing with (3) #4 bottom long way; bottom of footing 42" below grade	1	LS	\$5,000.00	\$5,000	
below grade	typical frost wall: 10" wide reinforced with #4 @ 10" o.c. horizontal and #4 @ 18" o.c. vertical with 9" hooks into the footing	1	LS	\$4,500.00	\$4,500	
exterior walls	Typical building logs: wall logs sawn 8" diameter with "D-log" profile, flat face facing inward; Wood shall be visually graded Doug Fir or Southern Pine #1; The average moisture present at the time of fiber saturation shall not exceed 26%; Exposed wood shall be preservative treated; Logs shall be continuous across wall openings, do not splice logs over openings.	1,350	SF	\$35.00	\$47,250	
exterior walls	Logs to be connected with 10" long , 3/8" dia galvanized drift pins at 24" o.c. typical. Pre-drill for all pins.	in above				
exterior walls	Chinking shall consist of historically accurate wattle and daub.	2,700	SF	\$6.50	\$17,550	
roof	Roof logs sawn 10" diameter at 5ft o.c. maximum; Wood shall be visually graded Doug Fir or Southern Pine #1; The average moisture present at the time of fiber saturation shall not exceed 26%; Exposed wood shall be preservative treated.	1,700	SF	\$40.00	\$68,000	
roof	Logs to be connected with 10" long , 3/8" dia galvanized drift pins at 24" o.c. typical. Pre-drill for all pins.	in above				
roof	Steel tie rods, 1" diameter A36 steel, shall be provided at each rafter pair. Rods to be provided through rafters with 3/8" thick steel plates at each end.	in above				
roof	Roof sheathing shall consist of 2x6 tongue and groove Southern Pine decking.	1,700	SF	\$6.75	\$11,475	
mezzanine	Framing: 2x10 Hem-Fir #2 joists @ 16", 10" LVL ledger bolted to the exterior wall with Simpson LUS210 hangers, and (2) 12" LVL interior edge beams	240	SF	\$25.00	\$6,000	
mezzanine	4x4 PSL columns and 22" square piers. Piers to extend 42" below slab elevation.	2	EA	\$650.00	\$1,300	
mezzanine	Interior railing to be HSS1 1/2"x1 1/2"x3/16" posts at 5ft on center max with top and bottom railings consists of the same HSS shape. Provide 3/8" square interior bars @ 4" o.c. maximum. Railing posts to be secured to joist framing using (4) Simpson HD3B brackets with (4) 5/8" diameter bolts to joist and (4) 5/8" diameter bolts to steel plate supporting the railing post.	25	LF	\$175.00	\$4,375	
	Subtotal					\$165,450
	General Construction Allowance	2%			\$3,309	
	Subtotal					\$168,759
	Mobilization/Demobilization/Site Inspections/Protections - Allowance	10%			\$16,876	
	General Conditions & Bond	20%			\$37,127	
	Insurance	1.8%			\$4,010	
	Contractor's Fee	5%			\$11,339	



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LOCATION	ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	EXTENSION	SUBTOTAL
	Design Contingency	15%			\$35,717	
	Construction Contingency	20%			\$54,765	
	SUBTOTAL: (Total Construction Costs w/o Environ.)					\$328,592
	Escalation - 4%	4.0%			\$13,144	
	Subtotal					\$341,736
	Environmental Allowance	2%			\$6,835	
	TOTAL ESTIMATED CONSTRUCTION COSTS					\$348,570



ALTUSWORKS INC.

HVAC SCOPE

PROJECT: WHEATON GIRL SCOUT CABIN STUDY
GIRL SCOUT LOG CABIN REPLACEMENT STRUCTURE

LOCATION	ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	EXTENSION	SUBTOTAL
Interior	High efficiency Gas furnace capable of 125MBH heating capacity, converted to propane	1	EACH	\$6,000.00	\$6,000	
Exterior	Condensing unit - 7.5 tons, 18 SEER	1	EACH	\$5,500.00	\$5,500	
Exterior	Concrete pad with screen to hide outdoor equipment (see architectural)					
Interior	Return air terminals	10	EACH	\$65.00	\$650	
Interior	Supply air terminals	10	EACH	\$65.00	\$650	
Interior	Under slab duct distribution					
Interior	900 CFM Ventacity VS900 CM Energy Recovery Ventilator in Mechanical Room	1	EACH	\$9,600.00	\$9,600	
Interior	Wall mounted electric heaters	2	EACH	\$725.00	\$1,450	
Interior	Balance dampers	12	EACH	\$100.00	\$1,200	
Interior	Ductwork	1	LSUM	\$5,500.00	\$5,500	
Interior	Propane Gas Piping	15	LNFT	\$40.00	\$600	
Interior	Ductwork Insulation	1	LSUM	\$4,500.00	\$4,500	
	Temperature controls - Space thermostat, CO2 sensor to control furnace and ERV. Remote monitoring to operations staff	1	LSUM	\$6,500.00	\$6,500	
	Subtotal					\$42,150
	General Construction Allowance	2%			\$843	
	Subtotal					\$42,993
	Mobilization/Demobilization/Site Inspections/Protections - Allowance	10%			\$4,299	
	General Conditions & Bond	20%			\$9,458	
	Insurance	1.8%			\$1,022	
	Contractor's Fee	5%			\$2,889	
	Design Contingency	15%			\$9,099	
	Construction Contingency	20%			\$13,952	
	SUBTOTAL: (Total Construction Costs w/o Environ.)					\$83,712
	Escalation - 4%	4.0%			\$3,348	
	Subtotal					\$87,061



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	Environmental Allowance	2%			\$1,741	
	TOTAL ESTIMATED CONSTRUCTION COSTS					\$88,802



ALTUSWORKS INC.

ELECTRICAL SCOPE

PROJECT: WHEATON GIRL SCOUT CABIN STUDY
GIRL SCOUT LOG CABIN REPLACEMENT STRUCTURE

LOCATION	ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	EXTENSION	SUBTOTAL
Exterior	Coordinate with ComEd to relocate pad mount transformer away from cabin toward the parking lot.	1	LS	\$6,500.00	\$6,500	
Exterior	200A underground service lateral from transformer to meter pedestal.	30	EA	\$75.00	\$2,250	
Exterior	5/8" x 10' ground rod and grounding electrode to meter pedestal.	1	EA	\$500.00	\$500	
Exterior	200A meter pedestal with 200A Service disconnect circuit breaker.	1	EA	\$3,700.00	\$3,700	
Interior	200A feeder from meter pedestal to main panelboard in Mechanical Room	35	LF	\$45.00	\$1,575	
Interior	200A, 240V main breaker service panel with 40 single pole 20A breakers	1	EA	\$2,800.00	\$2,800	
Interior	20A, 120V branch circuit to furnace. New 20A, 1P disconnect switch.	1	EA	\$550.00	\$550	
Exterior	50A, 240V branch circuit to condensing unit, 60A, 2P disconnect switch.	1	EA	\$920.00	\$920	
Exterior	(4) 20A, 120V branch circuits to exterior rated GFCI receptacles located within weather rated box with while in use cover. One located by condensing unit, one each on each side of the cabin.	4	EA	\$325.00	\$1,300	
Interior	LED light fixtures	40	EA	\$325.00	\$13,000	
Exterior	Exterior rated LED light fixtures	4	EA	\$380.00	\$1,520	
Interior	LED Emergency unit battery fixtures	8	EA	\$350.00	\$2,800	
Interior	LED exit signs with battery back-up	4	EA	\$350.00	\$1,400	
Interior	GFCI receptacles with branch circuits	12	EA	\$320.00	\$3,840	
Interior	Receptacles with branch circuits	12	EA	\$280.00	\$3,360	
Interior	Vacancy sensor light switches	10	EA	\$275.00	\$2,750	
Exterior	Time clock for exterior lighting	1	EA	\$450.00	\$450	
Interior	Toggle light switch	1	EA	\$180.00	\$180	
Interior	Lighting branch circuits	10	EA	\$500.00	\$5,000	
Interior	15A, 120V branch circuit to Janitor Closet exhaust fan, 1P disconnect switch	1	EA	\$400.00	\$400	
Interior	40A, 240V branch circuit to energy recovery ventilator, 2P, 60A disconnect switch	1	EA	\$550.00	\$550	
Interior	Single station smoke/CO detectors, 120V with battery backup, interconnected	8	EA	\$375.00	\$3,000	
	Subtotal					\$58,345
	General Construction Allowance	2%			\$1,167	
	Subtotal					\$59,512
	Mobilization/Demobilization/Site Inspections/Protections - Allowance	10%			\$5,951	
	General Conditions & Bond	20%			\$13,093	
	Insurance	1.8%			\$1,414	
	Contractor's Fee	5%			\$3,998	
	Design Contingency	15%			\$12,595	



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LOCATION	ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	EXTENSION	SUBTOTAL
	Construction Contingency	20%			\$19,313	
	SUBTOTAL: (Total Construction Costs w/o Environ.)					\$115,876
	Escalation - 4%	4.0%			\$4,635	
	Subtotal					\$120,511
	Environmental Allowance	2%			\$2,410	
	TOTAL ESTIMATED CONSTRUCTION COSTS					\$122,921



ALTUSWORKS INC.

PLUMBING SCOPE

PROJECT: WHEATON GIRL SCOUT CABIN STUDY
GIRL SCOUT LOG CABIN REPLACEMENT STRUCTURE

LOCATION	ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	EXTENSION	SUBTOTAL
Exterior/Interior	Incoming water service w/ valves & meter	1	EACH	\$3,500.00	\$3,500	
Exterior	Storm sewer connection	1	EACH	\$3,000.00	\$3,000	
Exterior	Sanitary sewer connection	1	EACH	\$2,500.00	\$2,500	
Interior	Wall hung lavatories and faucets w/ associated accessories	2	EACH	\$1,900.00	\$3,800	
Interior	Floor mounted toilets and flushvalves w/ associated accessories	2	EACH	\$1,600.00	\$3,200	
Interior	Mop basin and faucet w/ associated accessories	1	EACH	\$2,200.00	\$2,200	
Interior	Kitchen sink and faucet w/ associated accessories	1	EACH	\$1,300.00	\$1,300	
Interior	Under the counter grease interceptor	1	EACH	\$1,100.00	\$1,100	
Exterior	Hose bibs	2	EACH	\$250.00	\$500	
Interior	Floor drains/floor sinks w/ trap primer	4	EACH	\$480.00	\$1,920	
Interior	Propane water heater with expansion tank, valves & drain pan	1	EACH	\$3,000.00	\$3,000	
Exterior/Interior	80 feet of gas pipe connecting from existing propane gas tank (Length is an approximation)	1	EACH	\$2,700.00	\$2,700	
		1			\$0	
Interior	150 feet of sanitary pipes & fittings (Length is an approximation)	1	EACH	\$5,000.00	\$5,000	
Interior	90 feet of vent pipes & fittings (Length is an approximation)	1	EACH	\$2,500.00	\$2,500	
Interior	200 feet of insulated domestic cold and hot water pipes & fittings w/ shut off valves (Length is an approximation)	1	EACH	\$6,000.00	\$6,000	
Exterior	Roof drains	2	EACH	\$520.00	\$1,040	
Interior	140 feet of primary insulated storm pipes & fittings connecting to underground storm sewer	1	EACH	\$9,800.00	\$9,800	
Exterior/Interior	140 feet of overflow insulated storm pipes & fittings discharge to daylight with downspout nozzle.	1	EACH	\$9,800.00	\$9,800	
Interior	Dishwasher connection	1	EACH	\$225.00	\$225	
	Subtotal					\$63,085
	General Construction Allowance	2%			\$1,262	
	Subtotal					\$64,347
	Mobilization/Demobilization/Site Inspections/Protections - Allowance	10%			\$6,435	
	General Conditions & Bond	20%			\$14,156	
	Insurance	1.8%			\$1,529	
	Contractor's Fee	5%			\$4,323	
	Design Contingency	15%			\$13,618	



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	Construction Contingency	20%			\$20,882	
	SUBTOTAL: (Total Construction Costs w/o Environ.)					\$125,290
	Escalation - 4%	4.0%			\$5,012	
	Subtotal					\$130,302
	Environmental Allowance	2%			\$2,606	
	TOTAL ESTIMATED CONSTRUCTION COSTS					\$132,908



ALTUSWORKS INC.

ELECTRIFICATION SCOPE

PROJECT: WHEATON GIRL SCOUT CABIN STUDY
GIRL SCOUT LOG CABIN REPLACEMENT STRUCTURE

LOCATION	ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	EXTENSION	SUBTOTAL
	PROVIDE ALTERNATE PRICING FOR UPGRADING THE FACILITY TO FULL ELECTRIC					
HVAC	Provide 7.5 ton heat pump with indoor ducted fan coil and supplemental electric heat element. This will be in lieu of gas furnace and condensing unit.	1	EA	\$6,500.00	\$6,500	
PLUMBING	Provide electric 30 gallon, 4.5kW domestic hot water heater in lieu of Propane water heater.	1	EA	\$140.00	\$140	
ELECTRIC	Upgrade electric service to 400A at 240/120V, single phase. The service lateral, meter pedestal and main panel will all change to 400A. A 100A, 240V branch circuit will be added to supply the heat pump outdoor unit. A 25A, 2 pole, single phase branch circuit will be added to supply the electric water heater.	1	EA	\$22,450.00	\$22,450	
	Subtotal					\$29,090
	General Construction Allowance	2%			\$582	
	Subtotal					\$29,672
	Mobilization/Demobilization/Site Inspections/Protections - Allowance	10%			\$2,967	
	General Conditions & Bond	20%			\$6,528	
	Insurance	1.8%			\$705	
	Contractor's Fee	5%			\$1,994	
	Design Contingency	15%			\$6,280	
	Construction Contingency	20%			\$9,629	
	SUBTOTAL: (Total Construction Costs w/o Environ.)					\$57,774
	Escalation - 4%	4.0%			\$2,311	
	Subtotal					\$60,085
	Environmental Allowance	2%			\$1,202	
	TOTAL ESTIMATED CONSTRUCTION COSTS				ADD	\$61,287

TO: Board of Commissioners

FROM: Rob Sperl, Director of Parks and Planning
Steve Hincee, Superintendent of Planning

THROUGH: Michael Benard, Executive Director

RE: Prairie Path Park Playground Equipment Purchase

DATE: July 2, 2025



SUMMARY:

Staff submitted an application for playground equipment at Prairie Path Park through the Illinois Park and Recreation Association (IPRA) statewide funding initiative for playground and fitness equipment in parks. The playground replacement was already planned and included in the budget. The grant funding would represent substantial savings from pricing the district would normally be eligible for through cooperative purchasing.

On June 12, 2025, staff was informed the application was successful. The purchase would be completed through the OMNIA purchasing agreement with additional discounts applied. Below is a summary of what the discounts would be. There are two options available through the funding initiative.

Catalogue Pricing	Standard OMNIA	IPRA Initiative OMNIA pay following delivery	IPRA Initiative OMNIA pay up front
\$148,169.09	\$110, 717.07 25% Discount	\$93,700.51 37% Discount	\$82,183.08 45% Discount

An analysis of discounts offered as a part of past playground bids found the average to be approximately 27.5%

PREVIOUS COMMITTEE/BOARD ACTION:

It has been previously requested that we obtain board approval prior to applying for any grants. The Illinois Park and Recreation Association (IPRA) statewide funding initiative for playground and fitness equipment in parks was presented at the May 7, 2025 subcommittee meeting.

REVENUE OR FUNDING IMPLICATIONS:

Account	Description	Budget
40-800-836-57-5701-0000	Prairie Path Park Playground Replacement	\$180,000

Staff anticipated the remaining expenses to construct the playground, including safety surfacing and site work will be within the budget set for this project.

STAKEHOLDER PROCESS:

A survey of the neighborhood around Prairie Path Park was recently conducted and was shared with GameTime to develop the design.

LEGAL REVIEW:

Staff will work with legal counsel to develop an agreement for the purchase of playground equipment.

ATTACHMENTS:

Award letter & certificate

Proposed layout plan & costs with discount applied

ALTERNATIVES:

A smaller discount is available for payment following delivery of the equipment.

Our typical process for obtaining playgrounds could be carried out. However, it is a much more involved and lengthy process and could push the schedule into next year without the savings currently expected.

RECOMMENDATION:

It is recommended that the Wheaton Park District Board of Commissioner's approve the purchase of playground equipment from GameTime in the amount of \$82,183.08



A PLAYCORE Company

150 PlayCore Drive SE
Fort Payne, Alabama 35967
800.235.2440
gametime.com

June 12, 2025

Steve Hinchee ,

On behalf of GameTime and Cunningham Recreation, I wanted to personally congratulate you and your community on receiving funding from GameTime as part of the 2025 IPRA Statewide Training and Funding Initiative. Now more than ever, high-quality outdoor environments have proven to be essential to the communities we collectively serve, healing the minds, bodies, and spirits of children, families, and citizens across the state.

I've included a copy of a funding award certificate, and some background information on the various National Demonstration Sites that will be part of finalizing your design and project. Your specific funding award will be determined once your playground design is completed.

Again, congratulations on your upcoming project and thank you for all you do to enrich childhood and build communities through play. I look forward to seeing the impact your new National Demonstration Site has on your community!

Sincerely,

A handwritten signature in black ink that reads "Robert V. Barron". The signature is written in a cursive, flowing style.

Robert V. Barron
Senior Vice President, GameTime



A | LAYCORE Company

FUNDING AWARD CERTIFICATE

This certificate entitles

Prairie Path Park

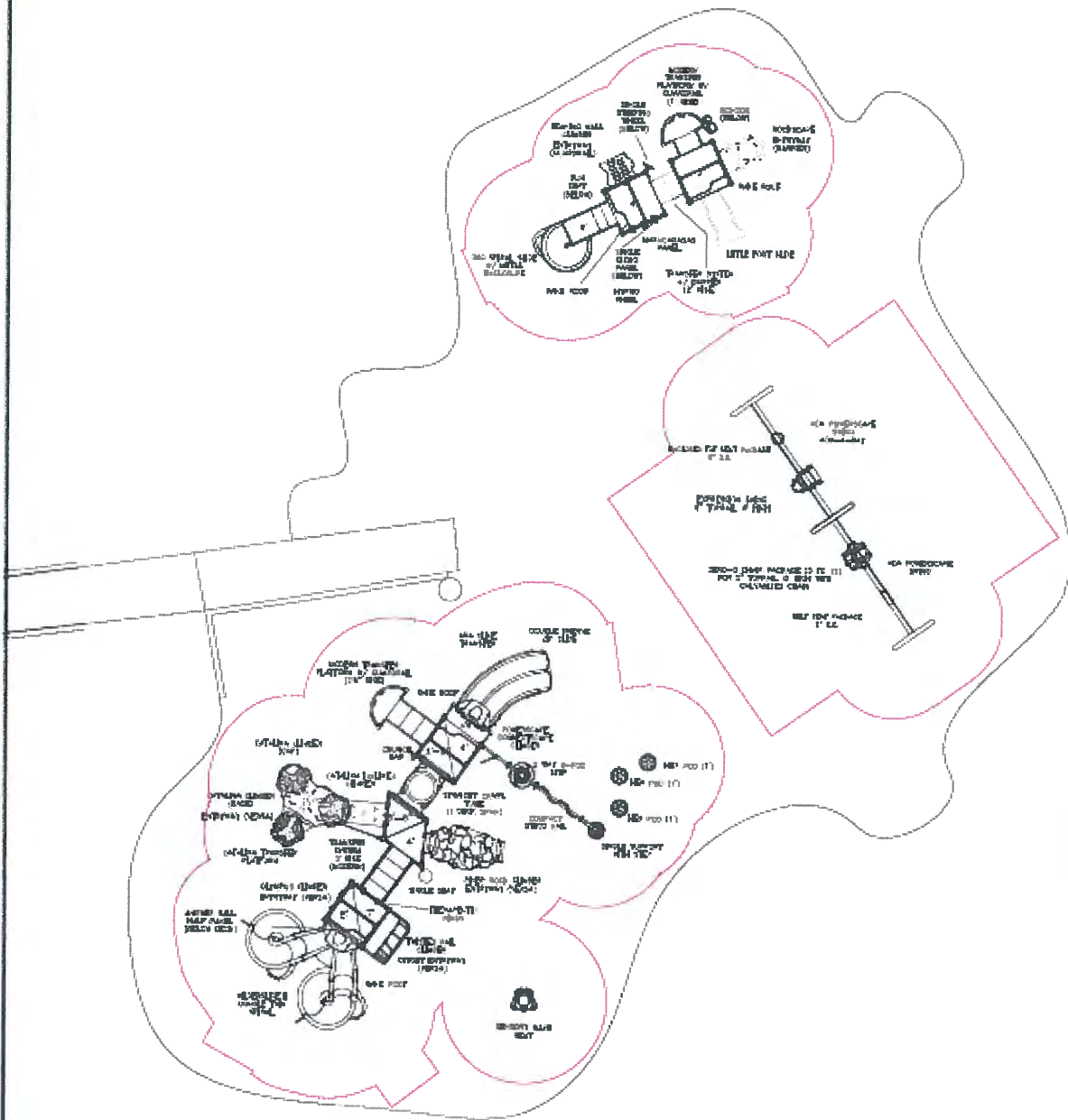
to GameTime/IPRA Statewide Program funding.

Funds are awarded based on need and according to the terms outlined in the IPRA Statewide Funding Initiative application. Final funding amount will be determined once the NDS playground designs are completed, and funds will be applied to the purchase of the qualifying play system. Other terms and conditions may apply. Contact your GameTime Representative, for complete details about the funds awarded to your IPRA Initiative playground and recreation project.

A handwritten signature in black ink that reads "Robert V. Barron".

Robert V. Barron
Senior Vice President

Proposed Layout Plan



<div> <div>PROJECT TITLE</div> <div>Wheaton Park District Wheaton Prairie Path Wheaton, IL</div> </div>	<div> <div>REPRESENTATION</div> <div>Cunningham Recreation</div> </div>	<div> <div>This play equipment is recommended for children ages 2-8 & 5-12</div> <div>UNIT NUMBER</div> <div>175860-01-01</div> <div>DATE</div> <div>8.24.25</div> </div>	<div> <div>Manufacturer</div> <div>MetLife Park Equipment</div> </div>	<div> <div>NOTES</div> <div> <p>Manufacturer shall confirm surfacing should be placed in the same areas of all equipment, as specified for each type of equipment, and all details in regard to the safety fall height as specified by the U.S. Consumer Product Safety Commission ASTM standard F-1187 and Canadian Standard CANCEN 2.818</p> </div> </div>



GameTime c/o Cunningham Recreation
 PO Box 240981
 Charlotte, NC 28224
 800.438.2780
 704.525.7356 FAX

06/25/2025
 Quote #
 175860-01-01

Wheaton Prairie Path (2025 IPRA - Cash with Order)

Wheaton Park District
 Attn: Steve Hinchee
 102 East Wesley Street
 Wheaton, IL 60187
 United States
 Phone: 630-510-4976
 Fax: 630-665-8946
 shinchee@wheatonparks.org

Ship to Zip 60187

Quantity	Part #	Description	Unit Price	Amount
1	RDU	GameTime - Powerscape/Xscape Modular Structure for Ages 5-12 (per drawing)	\$88,128.17	\$88,128.17
		[RotoPlastic: _____]		
		[RotoPlastic2: _____]		
		[Accent: _____]		
		[HDPE: _____]		
		[Basic: _____]		
		[Deck:Pvc: _____]		
		[Accent2: _____]		
		[UniPlastic: _____]		
		[Tube: _____]		
		[2ColorHDPE: _____]		
		(1) 5209 -- Catalina Climber Base		
		(1) 5210 -- Catalina Climber Cap		
		(1) 5252 -- Catalina ChallengeTransfer Platform		
		(1) 5254 -- Catalina Inclined Climber2'Pedestal		
		(1) 16465 -- Slide Transfer (Ada)		
		(1) 16701 -- Ada 49"Tri Punch Steel Dk		
		(1) 16819 -- Ada 12"Stepped Platform		
		(1) 26057 -- 2 Way X-Pod Step		
		(3) 26094 -- Triangular Shroud		
		(1) 26142 -- Single With Step		
		(1) 26165 -- 4'-0" Connectscape Climber		
		(1) 27100 -- Compact Stego Rail		
		(3) 32022 -- Hex Pod Step (1')		
		(2) 5421RP -- RAKE ROOF		
		(1) 5484RP -- Transfer System 3' (Modern)		
		(1) 80001 -- 49"Tri Punched Steel Deck		
		(1) 80078 -- 6"Stepped Platform		
		(1) 81670 -- Crunch Bar		
		(1) 81680 -- Single Seat		
		(1) 81688 -- Therapeutic Rings Atch		
		(2) 90266 -- 8' Upright, Alum		
		(2) 90268 -- 10' Upright, Alum		
		(2) 90269 -- 11' Upright, Alum		
		(2) 90270 -- 12' Upright, Alum		



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Quantity	Part #	Description	Unit Price	Amount
		(2) 90273 -- 15' Upright, Alum		
		(1) 90369 -- River Rock Climber		
		(1) 90579 -- Double Swerve Slide		
		(1) 90593 -- Straight Crawl Tube (1 Deck Span)		
		(1) 90843 -- Double Twin Spiral		
		(1) 91501 -- Olympus Climber - 7'0 thru 8'0 attac		
		(1) 91530 -- Twisted Rail Climber 6'6"/7'		
		(1) 91572 -- Answer Ball Half Panel		
		(1) 91713 -- Modern Transfer w/Guard 2'-6" Rise		
		(3) 91931 -- Entryway (Versa)		
		(1) 91934 -- Offset Entryway (Versa)		
		(2) G90262 -- 4' Upright, Galv		
		(2) G90270 -- 12' Upright, Galv		
		(2) G90273 -- 15' Upright, Galv		
1	RDU	GameTime - Powerscape Swings [Basic: _____] [RotoPlastic: _____]	\$8,695.00	\$8,695.00
		(1) 5145 -- Expression Swing 5" X 8"		
		(1) 8914 -- Encl Tot Seat 5"Od(8914)		
		(1) 8918 -- Belt Seat Pkg 5"Od(8918)		
		(1) 10847 -- Ada Two-Place Swing F/S, 5" Od		
		(1) 10848 -- Ada Two-Place Swing Add-A-Bay, 5" Od		
		(1) 81750 -- 5" Zero-G Chair (5-12)-Galv Chain		
1	3274	GameTime - Sensory Wave Seat [Accent: _____] [Basic: _____] [Roto Plastic: _____]	\$2,753.00	\$2,753.00
1	RDU	GameTime - Powerscape Modular Structure for Ages 2-5 (per drawing) [Deck:Pvc: _____] [Basic: _____] [RotoPlastic: _____] [Tube: _____] [Accent: _____] [RockPlastic: _____] [HDPE: _____] [2ColorHDPE: _____] [Accent2: _____]	\$42,403.00	\$42,403.00
		(1) 4958 -- Hypno Wheel		
		(2) 80000 -- 49" Sq Punched Steel Deck		
		(1) 80931 -- Single Gizmo Panel		
		(1) 81666 -- Fun Seat		
		(1) 81691 -- Single Steering Wheel		
		(1) 81699 -- Bongos		
		(1) 90021 -- 2'-0" Transfer System W/ Barrier		



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Wheaton Prairie Path (2025 IPRA - Cash with Order)

Quantity	Part #	Description	Unit Price	Amount
		(1) 90088 -- 2' Rockscape Climber		
		(1) 90252 -- 4' Leaning Wall Climber		
		(2) 90266 -- 8' Upright, Alum		
		(1) 90530 -- 2 1/2'-6" Little Foot Slide W/Enclosu		
		(1) 90885 -- 360 Spiral Slide 4' w/metal enc		
		(1) 91139 -- Entryway - Barrier		
		(1) 91146 -- Entryway - Guardrail		
		(1) 91550 -- Maracabasas Panel		
		(1) 91711 -- Modern Transfer w/Guardrail 1' Rise		
		(2) 91876 -- Rake Roof		
		(4) G90267 -- 9' Upright, Galv		
		(4) G90269 -- 11' Upright, Galv		
1	14927	GameTime - NDS Play On Sign Package		
1	178749	GameTime - Owner's Kit	\$92.08	\$92.08
1	2025IPRA	MISC - IPRA Funding Initiative- Terms and Conditions: Matching funds offer applies to PowerScape® (including Spire®, Altus® and Aventus® Towers), PrimeTime® (including the Odyssey®), Xscape®, and Modern City®, and The Stadium® play systems only. Up to 50% matching funds for select outdoor fitness equipment, including THRIVE®, Challenge Course, and The Stadium®. VistaRope®, freestanding net structures, TuffForms, Landmark Design, GTSymphony freestanding, other freestanding play products, and Play On! non-system events are not eligible for funding. GameTime playground grants can only be applied to additional GameTime purchases and only in conjunction with the original purchase. Standard policies and warranties as listed in the 2024 GameTime Playground Design Guide apply. Freight and applicable sales tax are extra and not included. GameTime reserves the right to decline any application for a GameTime grant. GameTime will accept grant orders until December 31, 2025, or until all eligible funds are disbursed, whichever comes first. Customer must be able to receive order by December 31, 2025, subject to transportation availability.		
Contract: OMNIA #2017001134			Sub Total	\$142,071.25
			Discount	(\$65,986.01)
			Material Surcharge	\$4,297.84
			Freight	\$1,800.00
			Total	\$82,183.08

Comments

* MATERIALS ONLY: Quotation does not include any site work, off-loading, storage, safety surfacing, or installation.

* Taxes, if applicable, will be applied at the time of invoice. Please provide a copy of your tax exempt certificate to avoid the addition of taxes.



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GAMETIME - TERMS & CONDITIONS:

- **PRICING:** Due to fluctuating economic conditions, pricing is valid for 30 days and is subject to change. Please request updated pricing if your quote is older than 30 days before making a purchase.
- **TERMS OF SALE:** For equipment & material purchases, Net 30 days from date of invoice for governmental agencies and those with approved credit. All others, full payment for equipment, taxes and freight up front. Balance for services & materials due upon completion or as otherwise negotiated upon credit application review. Pre-payment may be required for equipment orders totaling less than \$5,000. Payment by VISA, MasterCard, or AMEX is accepted (If you elect to pay by credit card, GameTime charges a 2.50% processing fee that is assessed on the amount of your payment. This fee is shown as a separate line item and included in the total amount charged to your credit card. You have the option to pay by check, ACH or Wire without any additional fees.). Checks should be made payable to Playcore Wisconsin, Inc. dba GameTime unless otherwise directed. Any order exceeding \$300,000 will require progress payments during the course of completion.
- **CREDIT APPLICATION:** Required for all non-governmental agencies and those entities who have not purchased from GameTime within the previous twelve calendar months.
- **FINANCE CHARGE:** A 1.5% monthly finance charge (or maximum permitted by law) will be added to all invoices over 30 days past due.
- **CASH WITH ORDER DISCOUNT:** Orders for GameTime equipment paid in full at time of order via check or electronic funds transfer (EFT) are eligible for a 3% cash-with-order (CWO) discount. Consult local sales representative for CWO terms.
- **ORDERS:** All orders shall be in writing by purchase order, signed quotation or similar documentation. Purchase orders must be made out to Playcore Wisconsin, Inc. dba GameTime.
- **FREIGHT CHARGES:** Shipments shall be F.O.B. destination. Freight charges prepaid and added separately.
- **SHIPMENT:** Standard Lead time is 6-8 weeks (some items may take longer) after receipt and acceptance of purchase order, credit application, color selections and approved drawings or submittals.
- **PACKAGING:** All goods shall be packaged in accordance with acceptable commercial practices and marked to preclude confusion during unloading and handling.
- **RECEIPT OF GOODS:** Customer shall coordinate, receive, unload, inspect and provide written acceptance of shipment. Any damage to packaging or equipment must be noted when signing delivery ticket. If damages are noted, receiver must submit a claim to Cunningham Recreation within 15 Days. Receiver is also responsible for taking inventory of the shipment and reporting any concealed damage or discrepancy in quantities received within 60 days of receipt.
- **RETURNS:** Returns are only available on shipments delivered within the last 60 days. A 25% (min.) restocking fee will be deducted from any credit due. Customer is responsible for all packaging & shipping charges. Credit is based on condition of items upon return. All returns must be in unused and merchantable condition. GameTime reserves the right to deduct costs associated with restoring returned goods to merchantable condition. Uprights & custom products cannot be returned.
- **TAXES:** Sales tax is shown as a separate line item when included. A copy of your tax exemption certificate must be submitted at time of order or taxes will be added to your invoice.

SUPPLY ONLY:

- All items are quoted supply only.
- Installation services are not included.
- Customer is responsible for coordinating delivery, receipt, unloading, and inventory equipment.
- Missing or damaged equipment must be reported within 60 days of delivery.



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06/25/2025
Quote #
175860-01-01

Wheaton Prairie Path (2025 IPRA - Cash with Order)

ACCEPTANCE OF QUOTATION:

Acceptance of this proposal indicates your agreement to the terms and conditions stated herein.

Accepted By (printed): _____ Title: _____

Telephone: _____ Fax: _____

P.O. Number: _____ Date: _____

Purchase Amount: \$82,183.08

SALES TAX EXEMPTION CERTIFICATE #: _____

(PLEASE PROVIDE A COPY OF CERTIFICATE)

Salesperson's Signature

Customer Signature

BILLING INFORMATION:

Bill to: _____

Contact: _____

Address: _____

Address: _____

City, State: _____ Zip: _____

Tel: _____ Fax: _____

E-mail: _____

SHIPPING INFORMATION:

Ship to: _____

Contact: _____

Address: _____

Address: _____

City, State: _____ Zip: _____

Tel: _____ Fax: _____

E-mail: _____

TO: Board of Commissioners

FROM: Rob Sperl, Director of Parks and Planning
Steve Hinchee, Superintendent of Planning

THROUGH: Michael Benard, Executive Director

RE: Seven Gables Park Fitness Equipment Purchase

DATE: July 2, 2025



SUMMARY:

Staff submitted an application for fitness equipment at Seven Gables Park through the Illinois Park and Recreation Association (IPRA) statewide funding initiative for playground and fitness equipment in parks. The fitness equipment replacement was already planned and included in the budget. The grant funding would represent substantial savings from pricing the district would normally be eligible for through cooperative purchasing.

On June 12, 2025, staff was informed the application was successful. The purchase would be completed through the OMNIA purchasing agreement with additional discounts applied. Below is a summary of what the discounts would be. There are two options available through the funding initiative.

Catalogue Pricing	Standard OMNIA	IPRA Initiative OMNIA pay following delivery
\$59,674.96	\$51,623.19 13% Discount	\$48,437.16 19% Discount

An analysis of discounts offered as a part of past fitness equipment purchases found the average to be approximately 12%

PREVIOUS COMMITTEE/BOARD ACTION:

It has been previously requested that we obtain board approval prior to applying for any grants. The Illinois Park and Recreation Association (IPRA) statewide funding initiative for playground and fitness equipment in parks was presented at the May 7, 2025 subcommittee meeting.

REVENUE OR FUNDING IMPLICATIONS:

Account	Description	Budget
40-800-835-57-5701-0000	Seven Gables Park Fitness Equipment Replacement	\$80,000

Staff anticipated the remaining expenses to construct the fitness area, including safety surfacing and site work will be within the budget set for this project.

STAKEHOLDER PROCESS:

A survey of the neighborhood around Seven Gables Park is being developed and will be shared with GameTime to develop the design.

LEGAL REVIEW:

Staff will work with legal counsel to develop an agreement for the purchase of playground equipment.

ATTACHMENTS:

Award letter & certificate

Proposed layout plan & costs with discount applied

ALTERNATIVES:

Our typical process for obtaining playgrounds could be carried out. However, it is a much more involved and lengthy process and could push the schedule into next year without the savings currently expected.

RECOMMENDATION:

It is recommended that the Wheaton Park District Board of Commissioner's approve the purchase of playground equipment from GameTime in the amount not to exceed \$48,437.16



A PLAYCORE Company

150 PlayCore Drive SE
Fort Payne, Alabama 35967
800.235.2440
gametime.com

June 12, 2025

Steve Hinchee ,

On behalf of GameTime and Cunningham Recreation, I wanted to personally congratulate you and your community on receiving funding from GameTime as part of the 2025 IPRA Statewide Training and Funding Initiative. Now more than ever, high-quality outdoor environments have proven to be essential to the communities we collectively serve, healing the minds, bodies, and spirits of children, families, and citizens across the state.

I've included a copy of a funding award certificate, and some background information on the various National Demonstration Sites that will be part of finalizing your design and project. Your specific funding award will be determined once your playground design is completed.

Again, congratulations on your upcoming project and thank you for all you do to enrich childhood and build communities through play. I look forward to seeing the impact your new National Demonstration Site has on your community!

Sincerely,

A handwritten signature in black ink that reads "Robert V. Barron". The signature is fluid and cursive, with the first letters of the first and last names being capitalized and prominent.

Robert V. Barron
Senior Vice President, GameTime



A PLAYCORE Company

FUNDING AWARD CERTIFICATE

This certificate entitles

Seven Gables Park

to GameTime/IPRA Statewide Program funding.

Funds are awarded based on need and according to the terms outlined in the IPRA Statewide Funding Initiative application. Final funding amount will be determined once the NDS playground designs are completed, and funds will be applied to the purchase of the qualifying play system. Other terms and conditions may apply. Contact your GameTime Representative, for complete details about the funds awarded to your IPRA Initiative playground and recreation project.

A handwritten signature in black ink that reads "Robert V. Barron".

Robert V. Barron
Senior Vice President

45'-2"

USAGE/WARNING
LABEL SIGN POST
13565

2' PLYOMETRIC
BOX STATION
(ADVANCED SERIES)
13278

RECLUMBENT CYCLE
(INGROUND MOUNT)
149221

1' PLYOMETRIC
BOX STATION
(ADVANCED
SERIES)
13276

LEG PRESS
(IN-GROUND)
135561

CAPTAINS CHAIR -
IN GROUND
(ADVANCED SERIES)
135601

52'-11"

USAGE/WARNING
LABEL SIGN POST
13565

BALANCE
BOARD STATION
(ADVANCED
SERIES)
13260

LAT-PULL DOWN
(ACCESSIBLE)
IN-GROUND
MOUNT
(ADVANCED
SERIES)
132721

HORIZONTAL
CHIN-UP
STATION
(ADVANCED
SERIES)
13295

CHEST PRESS
(ACCESSIBLE)
IN-GROUND
MOUNT
(ADVANCED
SERIES)
132711

NDS FITNESS
SIGN PACKAGE
14926

SIT-UP/BACK EXTENSION -
IN-GROUND
(ADVANCED SERIES)
135611

CHIN-UP
STATION -
ACCESSIBLE
(ADVANCED
SERIES)
13285

CHIN-UP
STATION - LOW
(ADVANCED
SERIES)
13285

PUSH-UP
STATION -
LOW
(ADVANCED
SERIES)
13295

PUSH-UP
STATION -
LOW
(ADVANCED
SERIES)
13295



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Seven Gables Park - Option 2 (Going the Distance)

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 United States
 Phone: 630-510-4976
 Fax: 630-665-8946
 shinchee@wheatonparks.org

Ship to Zip 60187

Quantity	Part #	Description	Unit Price	Amount
1	132711	GameTime - Chest Press - Ada (In-Ground Mount) [Accent: _____] [Basic: _____]	\$8,447.00	\$8,447.00
1	132721	GameTime - Lat Pull Down - Ada (In-Ground Mount) [Accent: _____] [Basic: _____]	\$8,476.00	\$8,476.00
1	13276	GameTime - Plyometric Box (12") [Basic: _____]	\$846.00	\$846.00
1	13278	GameTime - Plyometric Box (24") [Basic: _____]	\$946.00	\$946.00
1	13280	GameTime - Balance Board Station	\$798.00	\$798.00
1	135591	GameTime - Leg Press (Single) [Accent: _____] [Basic: _____]	\$6,408.00	\$6,408.00
1	135601	GameTime - Captain'S Chair - In-Ground Mount [Accent: _____] [Basic: _____]	\$5,088.00	\$5,088.00
1	135611	GameTime - Sit Up/ Back Extension [Accent: _____] [Basic: _____]	\$6,377.00	\$6,377.00
2	13565	GameTime - Fitness Sign Post For Sticker [Basic: _____]	\$319.00	\$638.00
1	135821	GameTime - Chin Up Hi In Ground Mt [Accent: _____] [Basic: _____]	\$2,197.00	\$2,197.00
2	135831	GameTime - Chin Up Low In Ground [Accent: _____] [Basic: _____]	\$2,185.00	\$4,370.00
1	135841	GameTime - Chin up Accessible In Ground Mt [Accent: _____] [Basic: _____]	\$2,173.00	\$2,173.00
1	135861	GameTime - Horizontal Chin Up In ground [Accent: _____] [Basic: _____]	\$2,206.00	\$2,206.00
1	149221	GameTime - Recumbent Cycle (In-Ground) [Basic: _____]	\$7,219.00	\$7,219.00
1	14926	GameTime - NDS Fitness Sign Package		



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Seven Gables Park - Option 2 (Going the Distance)

Quantity	Part #	Description	Unit Price	Amount
1	2025IPRA	<p>MISC - IPRA Funding Initiative-</p> <p>Terms and Conditions: Matching funds offer applies to PowerScape® (including Spire®, Altus® and Aventus® Towers), PrimeTime® (including the Odyssey®), Xscape®, and Modern City®, and The Stadium® play systems only. Up to 50% matching funds for select outdoor fitness equipment, including THRIVE®, Challenge Course, and The Stadium®. VistaRope®, freestanding net structures, TuffForms, Landmark Design, GTSymphony freestanding, other freestanding play products, and Play On! non-system events are not eligible for funding. GameTime playground grants can only be applied to additional GameTime purchases and only in conjunction with the original purchase. Standard policies and warranties as listed in the 2024 GameTime Playground Design Guide apply. Freight and applicable sales tax are extra and not included. GameTime reserves the right to decline any application for a GameTime grant. GameTime will accept grant orders until December 31, 2025, or until all eligible funds are disbursed, whichever comes first. Customer must be able to receive order by December 31, 2025, subject to transportation availability.</p>		
Contract: OMNIA #2017001134			Sub Total	\$56,189.00
			Statewide Initiative Funding Applied	(\$11,237.80)
			Material Surcharge	\$1,685.67
			Freight	\$1,800.29
			Total	\$48,437.16

Comments

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- **RECEIPT OF GOODS:** Customer shall coordinate, receive, unload, inspect and provide written acceptance of shipment. Any damage to packaging or equipment must be noted when signing delivery ticket. If damages are noted, receiver must submit a claim to Cunningham Recreation within 15 Days. Receiver is also responsible for taking inventory of the shipment and reporting any concealed damage or discrepancy in quantities received within 60 days of receipt.
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- **TAXES:** Sales tax is shown as a separate line item when included. A copy of your tax exemption certificate must be submitted at time of order or taxes will be added to your invoice.

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- Installation services are not included.
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06/25/2025
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176030-01-02

Seven Gables Park - Option 2 (Going the Distance)

ACCEPTANCE OF QUOTATION:

Acceptance of this proposal indicates your agreement to the terms and conditions stated herein.

Accepted By (printed): _____ Title: _____

Telephone: _____ Fax: _____

P.O. Number: _____ Date: _____

Purchase Amount: \$48,437.16

SALES TAX EXEMPTION CERTIFICATE #: _____

(PLEASE PROVIDE A COPY OF CERTIFICATE)

Salesperson's Signature

Customer Signature

BILLING INFORMATION:

Bill to: _____

Contact: _____

Address: _____

Address: _____

City, State: _____ Zip: _____

Tel: _____ Fax: _____

E-mail: _____

SHIPPING INFORMATION:

Ship to: _____

Contact: _____

Address: _____

Address: _____

City, State: _____ Zip: _____

Tel: _____ Fax: _____

E-mail: _____

TO: Board of Commissioners

FROM: Rob Sperl, Director of Parks & Planning
Steve Hinchee, Superintendent of Planning

THROUGH: Michael Benard, Executive Director

RE: Briar Patch Park Adult Fitness Area Safety Surface

DATE: July 2, 2025



SUMMARY:

In 2024 an outdoor adult fitness area was constructed as part of the Briar Patch Park Improvements OSLAD grant. A portion of the equipment was installed with an artificial turf surface underneath, and the remaining equipment was installed over poured concrete. These conditions are acceptable per the manufacturer's recommendations. However, after having the equipment for a year staff now feel a safety surface under the entire area is preferable. This comes after receiving concerns that local children have been seen climbing the equipment structure.

Staff is recommending installing poured-in-place (PIP) rubber surfacing over the existing concrete. The purchase of this surfacing can be completed through an OMNIA joint purchasing arrangement. The proposed PIP surface is \$21.82/sq.ft. (compared to the \$24.65/sf.ft. turf installed in 2024). Staff feel this is a competitive price for this work.

PREVIOUS COMMITTEE/BOARD ACTION:

The purchase of adult fitness equipment from NuToys / Sourcewell Cooperative, and Kompan / OMNIA Cooperative was approved at the February 21, 2024 board meeting. A contract to install artificial turf surfacing from Forever Lawn was approved at the June 19, 2024 board meeting.

REVENUE OR FUNDING IMPLICATIONS:

Funds remaining from the Rathje playground surfacing project would be sufficient to cover this expense and could be transferred to Briar Patch. \$80,000 is budgeted for outdoor fitness within the current fiscal year (40-800-828-57-5701-0000). We are also exploring remaining grant funding administered by DCEO that might be utilized for this expense.

STAKEHOLDER PROCESS:

N/A

LEGAL REVIEW:

N/A

ATTACHMENTS:

Perfect Turf Proposal

ALTERNATIVES:

N/A

RECOMMENDATION:

It is recommended that the Wheaton Park District Board of Commissioners approve the proposal from Perfect Turf for the Briar Patch Park - Adult Fitness Area Safety Surface in the amount of \$23,345.00. Additionally, staff request a 10% contingency of \$2,334.50.

Wheaton Park District
OMNIA Partners ID: 4059068
102 E. Wesley St.
Wheaton, IL 60187

June 24, 2025

OMNIA Purchasing agreement – OMNIA Contract #R230201

Project Name: Briarcliffe Park – 1700 Briarcliffe Blvd Wheaton, IL 60189

The following proposal is for the material and installation of a Perfect Turf® PerfectPlay® poured rubber system for the playground area at the location above.

<u>Perfect Turf® PerfectPlay® Poured Rubber System:</u>	<u>Sq. Ft.</u>
Poured rubber installation proposal 1,070	\$ 23,345.00

Poured rubber proposal includes:

- Furnish and install poured in place rubber covering concrete for fall protection.
- Pull back turf surface and remove pad to transition rubber to turf. Overpour base rubber for turf to adhere to.
- Reinstall turf on rubber base, glue with turf adhesive.
- Turn down rubber surface on the edge of concrete curbing. PD to backfill and restore grass.
- Install a 1.5" to 2.5" depth of a 2-layer 50/50 with Aromatic Binder.
- Surface layer will be a minimum of .5" of full depth 50/50 Standard Color/Black blends.
 - Site security (provided by OWNER) is required to keep foot traffic off the surface for a minimum of 48 hours.
- Provide five (5) year manufacturer's warranty against defects in materials and workmanship from date of completed installation.
- Provide five (5) year warranty to meet impact attenuation performance requirements from date of completed installation.
- Installation to be performed by Perfect Turf and/or Perfect Turf approved contractors at prevailing wages.
- Dumpster for material packaging and other refuse to be provided.
- Shipping and handling fees are included.

PerfectTurf.com ♦ TurfDrainTiles.com ♦ BuyHomeTurf.com ♦ PTPetGrass.com

📄 U.S. Patent No. 9,464,388 📍 5540 Meadowbrook Court, Rolling Meadows, IL 60008 ☎ (888) SYN-TURF (796-8873)

NOT Included in project work steps above

- Excavation of existing base, creation of new stone base and job site restoration.
- Proposal pricing excludes all applicable licensing, permits, performance bonds or prepaid insurance costs.
- If actual dimensions change from what was provided to Perfect Turf, additional costs may apply.
- Excludes fall height testing (available for \$1,800.00)

Note: Outside temperature of 45 – 85 degrees Fahrenheit minimum is recommended for installation.

These prices are based on having full access to the play area once the installation starts. Site restoration will be the responsibility of the owner or others. Construction entrance to be determined by owner and Perfect Turf representative. Perfect Turf requires a scope review meeting to finalize plans and details. Surfacing subbase to be inspected and approved by Perfect Turf prior to PIP surfacing installation.

DISCLAIMER: Surfacing failure due to improper subbase preparation is the responsibility of others and not a warranty matter under the Perfect Turf limited warranty.

Specifications DO NOT require a 3rd party to drop test surfacing after completion.

Please feel free to contact me if you have any questions regarding this proposal.

Kind regards,

Ross Burns
Perfect Turf Distributing, LLC
773.908.7629 direct phone
ross@perfectturf.com



PERFECT TURF®

Terms:

1. Perfect Turf Distributing, LLC (PTD) price includes all materials, labor and taxes necessary to complete all work according to the specifications and materials described herein or attached. Client understands that the measurements and quantities included herein are approximate. If an accompanying design is provided, surface shown may not be to scale.
2. Customer understands that installation on any base that is not totally solid (such as over prior excavation, removed tree locations or near tree roots) may cause future problems with their turf installation. PTD is not responsible for any ground settling or other ground disturbance at any time, unless caused by or part of materials brought in by PTD.
3. Any alteration or deviation from the above or attached mentioned specifications involving extra costs or changes to the plan, will be executed only upon a signed addendum, and may become an additional charge over and above this contract amount.
4. It shall be the responsibility of the Client to furnish any water, power, or other utilities necessary at the job location for PTD's use prior to the start.
5. PTD agrees to diligently perform this work. All work and materials will be supplied in a professional manner. Contract pricing is based on PTD having full access to the proposed area once the installation starts and right of way for PTD and its subcontractors until completion. However, PTD shall not be responsible for delay or failure to perform due to acts of God, threat of inclement weather, strikes, accidents, civil disturbance, delays caused by owner or other contractor's working for the Client, lack of availability of construction materials or other delays beyond PTD's control.
6. PTD will not be held liable for any damages caused by the rupture of water lines after installation.
7. Proposal pricing includes 3% cash/check discount with order. If Client pays by credit card, for all or part of the project, 3% will be added to the payment amount for the portion paid by credit card.
8. Client understands and agrees that fees are to be paid 50% deposit and the balance due upon completion. Any other payment arrangements must be outlined on this contract at the time of contract signing.
9. Contract pricing is valid for 60 days from date of the proposal.
10. In the event PTD retains an attorney in conjunction with any dispute arising out of this contract, the Client shall be required to pay PTD's reasonable attorney's fees and all other costs and expenses of PTD incurred related to the dispute.
11. All materials installed remain the property of PTD until this contract is paid in full.
12. All unpaid balances from date due shall be assessed interest at a rate of 2% per month (24% A.P.R.).
13. This contract constitutes the full agreement between the parties and supersedes any and all oral expressions or statements, which shall not be construed to be part of this agreement. All terms and conditions are required to be in writing, in either this contract or an addendum. This agreement is not binding upon PTD unless and until an authorized officer of PTD accepts it.

Client Signature: _____ Date: _____

Acceptance by PTD Official: _____ Date: _____

Perfect Turf Distributing LLC Photographic Agreement

Initials below signifies Customer's agreement to allow PTD to photograph the project upon completion and use in future marketing efforts as it deems appropriate.

Client Initials: _____

PerfectTurf.com ♦ TurfDrainTiles.com ♦ BuyHomeTurf.com ♦ PTPetGrass.com

U.S. Patent No. 9,464,388 5540 Meadowbrook Court, Rolling Meadows, IL 60008 (888) SYN-TURF (796-8873)



TO: Board of Commissioners

FROM: Rob Sperl, Director of Parks & Planning
Steve Hincee, Superintendent of Planning

THROUGH: Michael Benard, Executive Director

RE: Pickleball Shade Structures: Briar Patch Park, Central Park, & Northside Park

DATE: July 2, 2025

SUMMARY:

With the ongoing popularity of pickleball we have recently installed courts at Briar Patch Park and Northside Park. These are in addition to the popular Central Park location. Participants have expressed a need for shaded seating area to take a break and cool down or wait for a court to become available. Staff requested pricing for shade structures.

Three different shade system companies have provided the following quotes:

<i>Contractor</i>	<i>Hanging Cantilever (Quantity 1)</i>	<i>Rectangle Hip End Shade (Quantity 2)</i>	<i>Shipping</i>	<i>Total</i>
ParKreation	\$8,898.00	\$11,896.00	\$2,014.00	\$22,808.00
TreeTop Products	\$9,229.90	\$11,311.38	\$2,907.33	\$23,448.61
All Inclusive Rec	\$10,630.00	\$12,413.26	\$1,221.74	\$24,265.42

All quotes include Illinois Engineer stamped drawings as required by City of Wheaton permitting. Parks staff would install the structures as well as the surfacing and seating.

The vendor estimates shades will be delivered 8-10 weeks from the time of purchase.

REVENUE OR FUNDING IMPLICATIONS:

<u>Account:</u>	<u>Park:</u>	<u>Budget:</u>
40-800-806-57-5701-0000	Briar Patch Park	\$16,000
40-800-812-57-5701-0000	Central Park	\$16,000
40-800-826-57-5701-0000	Northside Park	\$16,000
Total		\$48,000

STAKEHOLDER PROCESS:

We have received requests from patrons to provide shade for players while they wait for their games.

LEGAL REVIEW:

N/A.

ATTACHMENTS:

Parkreation Proposal

ALTERNATIVES:

N/A

RECOMMENDATION:

It is recommended that the Wheaton Park District Board of Commissioner's approve the purchase of Parkreation's shade structures for a total amount of \$22,808.00.

PARKREATION, INC c/o Shade Systems Inc.
27 East Palatine Road, Prospect Heights, IL 60070

June 4, 2025

Quotation Number: P060425F
Project Name: Misc park sites - Shade Systems
Price valid until 04/29/25

Wheaton Park District
1000 Manchester Road
Wheaton, IL 60187
630-510-4976

<u>QTY.</u>	<u>Product #</u>	<u>Description</u>	<u>Total Price</u>	
01	CTC102008	10' x 20' x 8' eave rectangle cantilever shade with (2) off-set columns Inground direct bury footings Material cost	\$ 7,998.00	\$ 7,998.00
		Illinois stamped engineered drawings	add \$ 900.00	\$ 900.00
02	R102008	10' x 20' x 8' eave rectangle (4) columns shade unit Inground direct bury footings Material cost	\$ 5,498.00	\$10,996.00
		Illinois stamped engineered drawings	add \$ 900.00	\$ 900.00
		Shipping to Wheaton, IL		<u>\$ 2,014.00</u>
		Total		<u>\$ 22,808.00</u>

Color selections from our standard color offerings.
Installation, concrete supplies, anchoring hardware and truck unloading are not included
Current shipping schedule is 8-10 weeks

Terms:

1. We understand that all accounts are payable to Parkreation, Inc. according to the terms of their invoice, and if not paid on or before said date, are then delinquent. We agree to pay any and all service charges added each month to past due invoices. Terms are Net 30 days upon delivery with approved credit. All charges are due and payable in full at Parkreation, Inc., 27 E. Palatine Rd., Prospect Heights, IL 60070 unless notified in writing to the contrary. To the extent the terms and conditions of any purchase order/contract and/or any purchase or delivery confirmation are inconsistent with the terms and conditions of this signed quote, the terms and conditions of this signed quote shall prevail.
2. All pricing is valid for 30 days from the date above.
3. The above pricing (if more than one item) is based upon a package purchase. Any adjustments may be subject to a price revision.
4. Customer is responsible for the off loading of the equipment and an accurate inventory should be taken at the time and all missing or damaged parts should be noted to the driver. You have 60 days to report any missing or damaged parts to your sales representative.
5. Truck Driver will not unload equipment.
6. Nonresale entities are required to provide copy of tax exempt certificate or be taxed upon invoice.
7. Installation not included unless specifically quoted.

Date _____ Purchaser's Signature _____ Purchaser's Title _____

Ship to address _____

TO: Board of Commissioners
FROM: Rob Sperl, Director of Parks and Planning
THROUGH: Michael Benard, Executive Director
RE: Northside Pool Pump Replacement
DATE: July 2, 2025



SUMMARY:

Shortly after starting up of Northside Pool this year, one of our two circulation pumps began making noise. We had the pump pulled by a local company that has previously serviced our pumps. This is necessary to have it transported back to their shop for disassembly and inspection. Many of the parts were recommended for replacement which would take 3-4 weeks to complete. They also provided a cost for a new pump assembly which was nearly identical with a similar lead time.

Unfortunately, competitive pricing would be difficult to obtain as it requires having the existing pump transported for additional inspections or onsite visits to obtain measurements for the replacement pumps. Given that we are operating without a back up to the one pump in operation, this was considered an emergency purchase, and a replacement pump has been ordered.

PREVIOUS COMMITTEE/BOARD ACTION:

N/A

REVENUE OR FUNDING IMPLICATIONS:

Specific funds were not budgeted in the current fiscal year. We anticipate offsetting the cost of other work deferred at the pools such as \$85,000 budgeted for painting of the Rice locker room floor.

STAKEHOLDER PROCESS:

N/A

ATTACHMENTS:

Proposal from Layne Christensen - June 4, 2025

ALTERNATIVES:

N/A

RECOMMENDATION:

It is recommended that the Wheaton Park District Board of Commissioners approve of the purchase of a replacement pump for Northside Pool from Layne Christensen in the amount of \$18,289.



Layne Christensen Company
721 W. Illinois Avenue
Aurora, IL 60506

630-897-6941
graniteconstruction.com

June 4th, 2025

Paul Gonzalez
Wheaton Park District
1509 N. West Street
Wheaton, IL 60187-3584

Re: Northside Pool Pump 2 Inspection Report

Mr. Gonzalez,

Layne has put together this proposal for your review. We have completed the disassembly and inspection of the Northside Pump 2 for all specific information please see the inspection report previously sent.

Please see the following estimate for all shop labor and materials as follows to be billed on a Time and Materials basis according to the attached Work Order Form:

Price to refurbish the current pump assembly: \$18,261.00, which includes:

- Skirt ring and wear ring for impellers
- New Shafts
- New Bushing material
- New Packing
- New Column Pipe
- Strainer
- Miscellaneous Supplies
- Labor cost for on-site and off-site work

Price to install a new pump assembly: \$18,289.00, which includes:

- New pump assembly
- New Shafts
- New Bushing material
- New Packing
- New Column Pipe
- Strainer
- Miscellaneous Supplies
- Labor cost for on-site and off-site work

Payment terms are Net 30 days and will be invoiced upon reinstallation of the pump assembly. The lead time on repairs and materials are 3-4 weeks pending notice to proceed.

Layne values our relationship with the Wheaton Park District and is looking forward to being of service to you on this project. If you have any questions, comments, or concerns regarding the

WATER RESOURCES

proposal above, please do not hesitate to contact me. I can always be reached either in the office at 630-897-6941 or on my mobile phone at 630-391-0156.

Yours Very Truly,

Layne Christensen Company



Canyon Kenny
Account Manager I



Jason Gray,
Area Manager

Above work accepted by (signature): _____

Printed Name: _____

Title: _____

Date: _____

TO: Board of Commissioners

FROM: Rob Sperl, Director of Parks & Planning
Steve Hinchee, Superintendent of Planning

THROUGH: Michael Benard, Executive Director

RE: Playground Surface Repairs

DATE: July 2, 2025



SUMMARY:

The playground surfaces at Atten and Seven Gables Parks are in need of repairs. The surface is a product known as SMARTE, sold by Parity Inc. and installed by district staff. Staff requested a quote for the materials needed to make the repairs.

PREVIOUS COMMITTEE/BOARD ACTION:

N/A

REVENUE OR FUNDING IMPLICATIONS:

Funds are available in the Atten Park budget to cover this expense (40-800-805-57-5701-0000).

STAKEHOLDER PROCESS:

N/A

LEGAL REVIEW:

N/A

ATTACHMENTS:

SMARTE Quote

ALTERNATIVES:

N/A

RECOMMENDATION:

It is recommended that the Wheaton Park District Board of Commissioners approve the purchase of materials from Parity Inc. in the amount of \$18,700.00.

PARITY INC
318 N Lincolnway
N. Aurora, Illinois
60542
phone (630) 906-0710

August 11, 2017

Project: Atten and Seven Gables
Contact: Steve Hinchee, Superintendent of Planning, RLA
1000 Manchester Road
Wheaton, IL 60187

SMARTE Turf

1 roll green turf 50ft x 15 ft	\$4,500.00
1 roll turf 100ft x 15 ft	\$9,000.00
9 turf claw	\$3,600.00
9 seam tape	\$1,125.00

Freight	\$475.00
TOTAL	\$18,700.00

Terms: Payment with order.

TO: Board of Commissioners

FROM: Rob Sperl, Director of Parks and Planning

THROUGH: Michael Benard, Executive Director

RE: Access Audit and Transition Plan – Consultant Name Change

DATE: July 2, 2025



SUMMARY:

In 2023, we hired the WT Group to complete our accessibility audit and transition plan. This work is substantially complete as you have previously received their ADA Access Audit and Transition Plan in January. We have a very small amount of work remaining related to accessibility of our websites so the contract remains open. As such, they have requested that we assign the contract to the new company name – WT Group AEC.

PREVIOUS COMMITTEE/BOARD ACTION:

The board approved the proposal from the WT Group at the July 19, 2023, board meeting. An accessibility report from the WT Group was reviewed at the January 8, 2025 subcommittee meeting.

REVENUE OR FUNDING IMPLICATIONS:

Dedicated funding for this audit and plan is available through our accessibility levy.

STAKEHOLDER PROCESS:

N/A

LEGAL REVIEW:

Our legal counsel has reviewed the request and recommended approval by the board.

ATTACHMENTS:

WT Final Report

ALTERNATIVES:

N/A

RECOMMENDATION:

It is recommended that the Wheaton Park District board approve assignment of our agreement to WT Group AEC.

WT GROUP AEC, LLC

June 17, 2025

**Michael Bernard
Wheaton Park District
Wheaton, IL**

VIA ELECTRONIC MAIL

Re: Notice of Sale of Assets and Request for Consent to Assignment

Dear Mike:

We wish to inform you that on June 16, 2025, ALTURA CAPITAL FUND III, L.P. ("**Investor**") acquired substantially all of the assets of DRAFTPROS, LLC and its subsidiaries, including WT-ENGINEERING, LLC and W-T GROUP, LLC (collectively, the "**DP/WT Companies**"), all of which have been assigned to a new entity, WT GROUP AEC, LLC ("**WT Group AEC**"), including the rights and interests to various agreements between the DP/WT Companies and various parties.

As such, we are writing to notify you that the sale of the assets included the assignment of all active agreements, and outstanding accounts receivable between W-T GROUP, LLC and the Wheaton Park District, also known as the District (as amended from time to time, the "**Agreement**").

In accordance with the terms of the Agreement, we kindly request your consent to the assignment of the Agreement from THE W-T GROUP, LLC to WT Group AEC (the "**Assignment**"). To confirm your agreement, please sign this letter below and return it to me. Thank you for your assistance and prompt attention to this matter. Further, any and all future payments under the Agreement should be made to WT Group AEC pursuant to the banking instructions attached.

John McGovern, Tanya Scheibe, and the rest of the team at the WT Group Accessibility Practice have continued to serve the District during this transition and will do so in the months to come at the same level of high-quality service. Should you have any questions regarding the Assignment or this request for consent, please reach me at 224-293-6333 or legal@wtgroup.com.

Very truly yours,
WT GROUP AEC, LLC

By: 
Name: Troy N. Triphahn
Title: President and CEO

The undersigned hereby consents to the Assignment to WT Group AEC as of the date first set forth above.

WHEATON PARK DISTRICT

By: _____ / ____/2025
Signature of Authorized Official

Name: _____
(Print or Type Name of Authorized Official)

Title: _____
(Print or Type Title of Authorized Official)

WTGAEC WHEATON PARK DISTRICT REQUEST FOR ASSIGNMENT 202501



Engineering • Design • Consulting

June 18, 2025

DEAR VALUED CLIENT:

We are EXCITED to announce that WT Group is teaming up with financial partner, Altura Capital of Coral Gables, Fla., in a partnership that will empower us as an engineering, design and consulting firm to better scale and position our services across the country.

As you may be aware, WT previously partnered with draftPros, LLC, and at this time, we have made a strategic decision to separate that partnership. In doing so, we are bringing our employees and clients back to WT Group and will operate more independently as WT Group AEC, LLC, with the support of Altura Capital.

With this move, we are better positioned to build on our legacy of over 50 years, and continue to serve our clients, employees, and other stakeholders.

While we do not anticipate any operational impact in our project deliverables, as with any corporate restructuring, there are legal steps that must be taken for all parties. As such, we are asking that you complete the attached Consent to Assignment and update banking information accordingly.

In order to make this transition as smooth as possible, we would ask you to hold your payables to WT Group until you have been able to update banking information, or simply mail a check to 2675 Pratum Ave., Hoffman Estates, IL 60192.

We are truly excited about the synergies in this new relationship and look forward to many wonderful opportunities in this next, great chapter for the company and those we serve - our clients, our employees, and the community.

With this transition, you can email me direct at ttriphahn@wtgroup.com, or reach out to your daily project contact and they can help navigate any questions through this transition.

RESPECTFULLY,

WT GROUP AEC, LLC

A handwritten signature in black ink, appearing to read 'T. Triphahn', written over a light blue horizontal line.

Troy N. Triphahn
President & CEO



Gabriela Marie Gomez
WT GROUP AEC, LLC
355 ALHAMBRA CIR STE 800
CORAL GABLES, FL 33134-5006

June 16, 2025

Dear Gabriela Marie Gomez,

Below is the information that you requested for the Chase account verification. All information provided is current as of this writing.

Bank Name	JPMorgan Chase Bank, N.A.
Bank Address	270 Park Avenue New York, NY 10017
Bank Routing (used for US Wires)	021000021
Bank Routing (used for ACH)	267084131
SWIFT Code for International Wires	CHASUS33
Account/Business Name	WT GROUP AEC, LLC
Account #	721792532
Account Type	Checking

Please let me know if you have further questions.

Sincerely,

Yeimer J. Taborda
Business Relationship Manager
+1-305-428-8524
JPMORGAN CHASE BANK, N.A.

**Request for Taxpayer
Identification Number and Certification**

Go to www.irs.gov/FormW9 for instructions and the latest information.

Give form to the
requester. Do not
send to the IRS.

Before you begin. For guidance related to the purpose of Form W-9, see *Purpose of Form*, below.

Print or type. See Specific Instructions on page 3.	1 Name of entity/individual. An entry is required. (For a sole proprietor or disregarded entity, enter the owner's name on line 1, and enter the business/disregarded entity's name on line 2.) WT Group AEC, LLC	
	2 Business name/disregarded entity name, if different from above. WT Group	
	3a Check the appropriate box for federal tax classification of the entity/individual whose name is entered on line 1. Check only one of the following seven boxes. <input type="checkbox"/> Individual/sole proprietor <input type="checkbox"/> C corporation <input type="checkbox"/> S corporation <input type="checkbox"/> Partnership <input type="checkbox"/> Trust/estate <input checked="" type="checkbox"/> LLC. Enter the tax classification (C = C corporation, S = S corporation, P = Partnership) P Note: Check the "LLC" box above and, in the entry space, enter the appropriate code (C, S, or P) for the tax classification of the LLC, unless it is a disregarded entity. A disregarded entity should instead check the appropriate box for the tax classification of its owner. <input type="checkbox"/> Other (see instructions)	4 Exemptions (codes apply only to certain entities, not individuals; see instructions on page 3): Exempt payee code (if any) _____ Exemption from Foreign Account Tax Compliance Act (FATCA) reporting code (if any) _____ (Applies to accounts maintained outside the United States.)
	3b If on line 3a you checked "Partnership" or "Trust/estate," or checked "LLC" and entered "P" as its tax classification, and you are providing this form to a partnership, trust, or estate in which you have an ownership interest, check this box if you have any foreign partners, owners, or beneficiaries. See instructions <input type="checkbox"/>	
	5 Address (number, street, and apt. or suite no.). See instructions. 355 ALHAMBRA CIR., STE 800 6 City, state, and ZIP code CORAL GABLES, FL 33134 7 List account number(s) here (optional)	Requester's name and address (optional)

Part I Taxpayer Identification Number (TIN)

Enter your TIN in the appropriate box. The TIN provided must match the name given on line 1 to avoid backup withholding. For individuals, this is generally your social security number (SSN). However, for a resident alien, sole proprietor, or disregarded entity, see the instructions for Part I, later. For other entities, it is your employer identification number (EIN). If you do not have a number, see *How to get a TIN*, later.

Note: If the account is in more than one name, see the instructions for line 1. See also *What Name and Number To Give the Requester* for guidelines on whose number to enter.


Social security number	
or	
Employer identification number	
3	9 - 2 6 0 8 8 5 9

Part II Certification

Under penalties of perjury, I certify that:

- The number shown on this form is my correct taxpayer identification number (or I am waiting for a number to be issued to me); and
- I am not subject to backup withholding because (a) I am exempt from backup withholding, or (b) I have not been notified by the Internal Revenue Service (IRS) that I am subject to backup withholding as a result of a failure to report all interest or dividends, or (c) the IRS has notified me that I am no longer subject to backup withholding; and
- I am a U.S. citizen or other U.S. person (defined below); and
- The FATCA code(s) entered on this form (if any) indicating that I am exempt from FATCA reporting is correct.

Certification instructions. You must cross out item 2 above if you have been notified by the IRS that you are currently subject to backup withholding because you have failed to report all interest and dividends on your tax return. For real estate transactions, item 2 does **not** apply. For mortgage interest paid, acquisition or abandonment of secured property, cancellation of debt, contributions to an individual retirement arrangement (IRA), and, generally, payments other than interest and dividends, you are **not** required to sign the certification, but you must **provide your** correct TIN. See the instructions for Part II, later.

Sign Here	Signature of U.S. person 	Date 6/18/2025
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General Instructions

Section references are to the Internal Revenue Code unless otherwise noted.

Future developments. For the latest information about developments related to Form W-9 and its instructions, such as legislation enacted after they were published, go to www.irs.gov/FormW9.

What's New

Line 3a has been modified to clarify how a disregarded entity completes this line. An LLC that is a disregarded entity should check the appropriate box for the tax classification of its owner. Otherwise, it should check the "LLC" box and enter its appropriate tax classification.

New line 3b has been added to this form. A flow-through entity is required to complete this line to indicate that it has direct or indirect foreign partners, owners, or beneficiaries when it provides the Form W-9 to another flow-through entity in which it has an ownership interest. This change is intended to provide a flow-through entity with information regarding the status of its indirect foreign partners, owners, or beneficiaries, so that it can satisfy any applicable reporting requirements. For example, a partnership that has any indirect foreign partners may be required to complete Schedules K-2 and K-3. See the Partnership Instructions for Schedules K-2 and K-3 (Form 1065).

Purpose of Form

An individual or entity (Form W-9 requester) who is required to file an information return with the IRS is giving you this form because they

must obtain your correct taxpayer identification number (TIN), which may be your social security number (SSN), individual taxpayer identification number (ITIN), adoption taxpayer identification number (ATIN), or employer identification number (EIN), to report on an information return the amount paid to you, or other amount reportable on an information return. Examples of information returns include, but are not limited to, the following.

- Form 1099-INT (interest earned or paid).
- Form 1099-DIV (dividends, including those from stocks or mutual funds).
- Form 1099-MISC (various types of income, prizes, awards, or gross proceeds).
- Form 1099-NEC (nonemployee compensation).
- Form 1099-B (stock or mutual fund sales and certain other transactions by brokers).
- Form 1099-S (proceeds from real estate transactions).
- Form 1099-K (merchant card and third-party network transactions).
- Form 1098 (home mortgage interest), 1098-E (student loan interest), and 1098-T (tuition).
- Form 1099-C (canceled debt).
- Form 1099-A (acquisition or abandonment of secured property).

Use Form W-9 only if you are a U.S. person (including a resident alien), to provide your correct TIN.

Caution: If you don't return Form W-9 to the requester with a TIN, you might be subject to backup withholding. See *What is backup withholding*, later.

By signing the filled-out form, you:

1. Certify that the TIN you are giving is correct (or you are waiting for a number to be issued);
2. Certify that you are not subject to backup withholding; or
3. Claim exemption from backup withholding if you are a U.S. exempt payee; and
4. Certify to your non-foreign status for purposes of withholding under chapter 3 or 4 of the Code (if applicable); and
5. Certify that FATCA code(s) entered on this form (if any) indicating that you are exempt from the FATCA reporting is correct. See *What Is FATCA Reporting*, later, for further information.

Note: If you are a U.S. person and a requester gives you a form other than Form W-9 to request your TIN, you must use the requester's form if it is substantially similar to this Form W-9.

Definition of a U.S. person. For federal tax purposes, you are considered a U.S. person if you are:

- An individual who is a U.S. citizen or U.S. resident alien;
- A partnership, corporation, company, or association created or organized in the United States or under the laws of the United States;
- An estate (other than a foreign estate); or
- A domestic trust (as defined in Regulations section 301.7701-7).

Establishing U.S. status for purposes of chapter 3 and chapter 4 withholding. Payments made to foreign persons, including certain distributions, allocations of income, or transfers of sales proceeds, may be subject to withholding under chapter 3 or chapter 4 of the Code (sections 1441-1474). Under those rules, if a Form W-9 or other certification of non-foreign status has not been received, a withholding agent, transferee, or partnership (payor) generally applies presumption rules that may require the payor to withhold applicable tax from the recipient, owner, transferor, or partner (payee). See Pub. 515, *Withholding of Tax on Nonresident Aliens and Foreign Entities*.

The following persons must provide Form W-9 to the payor for purposes of establishing its non-foreign status.

- In the case of a disregarded entity with a U.S. owner, the U.S. owner of the disregarded entity and not the disregarded entity.
- In the case of a grantor trust with a U.S. grantor or other U.S. owner, generally, the U.S. grantor or other U.S. owner of the grantor trust and not the grantor trust.
- In the case of a U.S. trust (other than a grantor trust), the U.S. trust and not the beneficiaries of the trust.

See Pub. 515 for more information on providing a Form W-9 or a certification of non-foreign status to avoid withholding.

Foreign person. If you are a foreign person or the U.S. branch of a foreign bank that has elected to be treated as a U.S. person (under Regulations section 1.1441-1(b)(2)(iv) or other applicable section for chapter 3 or 4 purposes), do not use Form W-9. Instead, use the appropriate Form W-8 or Form 8233 (see Pub. 515). If you are a qualified foreign pension fund under Regulations section 1.897(l)-1(d), or a partnership that is wholly owned by qualified foreign pension funds, that is treated as a non-foreign person for purposes of section 1445 withholding, do not use Form W-9. Instead, use Form W-8EXP (or other certification of non-foreign status).

Nonresident alien who becomes a resident alien. Generally, only a nonresident alien individual may use the terms of a tax treaty to reduce or eliminate U.S. tax on certain types of income. However, most tax treaties contain a provision known as a saving clause. Exceptions specified in the saving clause may permit an exemption from tax to continue for certain types of income even after the payee has otherwise become a U.S. resident alien for tax purposes.

If you are a U.S. resident alien who is relying on an exception contained in the saving clause of a tax treaty to claim an exemption from U.S. tax on certain types of income, you must attach a statement to Form W-9 that specifies the following five items.

1. The treaty country. Generally, this must be the same treaty under which you claimed exemption from tax as a nonresident alien.
2. The treaty article addressing the income.
3. The article number (or location) in the tax treaty that contains the saving clause and its exceptions.
4. The type and amount of income that qualifies for the exemption from tax.
5. Sufficient facts to justify the exemption from tax under the terms of the treaty article.

Example. Article 20 of the U.S.-China income tax treaty allows an exemption from tax for scholarship income received by a Chinese student temporarily present in the United States. Under U.S. law, this student will become a resident alien for tax purposes if their stay in the United States exceeds 5 calendar years. However, paragraph 2 of the first Protocol to the U.S.-China treaty (dated April 30, 1984) allows the provisions of Article 20 to continue to apply even after the Chinese student becomes a resident alien of the United States. A Chinese student who qualifies for this exception (under paragraph 2 of the first Protocol) and is relying on this exception to claim an exemption from tax on their scholarship or fellowship income would attach to Form W-9 a statement that includes the information described above to support that exemption.

If you are a nonresident alien or a foreign entity, give the requester the appropriate completed Form W-8 or Form 8233.

Backup Withholding

What is backup withholding? Persons making certain payments to you must under certain conditions withhold and pay to the IRS 24% of such payments. This is called "backup withholding." Payments that may be subject to backup withholding include, but are not limited to, interest, tax-exempt interest, dividends, broker and barter exchange transactions, rents, royalties, nonemployee pay, payments made in settlement of payment card and third-party network transactions, and certain payments from fishing boat operators. Real estate transactions are not subject to backup withholding.

You will not be subject to backup withholding on payments you receive if you give the requester your correct TIN, make the proper certifications, and report all your taxable interest and dividends on your tax return.

Payments you receive will be subject to backup withholding if:

1. You do not furnish your TIN to the requester;
2. You do not certify your TIN when required (see the instructions for Part II for details);
3. The IRS tells the requester that you furnished an incorrect TIN;
4. The IRS tells you that you are subject to backup withholding because you did not report all your interest and dividends on your tax return (for reportable interest and dividends only); or
5. You do not certify to the requester that you are not subject to backup withholding, as described in item 4 under "*By signing the filled-out form*" above (for reportable interest and dividend accounts opened after 1983 only).

Certain payees and payments are exempt from backup withholding. See *Exempt payee code*, later, and the separate Instructions for the Requester of Form W-9 for more information.

See also *Establishing U.S. status for purposes of chapter 3 and chapter 4 withholding*, earlier.

What Is FATCA Reporting?

The Foreign Account Tax Compliance Act (FATCA) requires a participating foreign financial institution to report all U.S. account holders that are specified U.S. persons. Certain payees are exempt from FATCA reporting. See *Exemption from FATCA reporting code*, later, and the Instructions for the Requester of Form W-9 for more information.

Updating Your Information

You must provide updated information to any person to whom you claimed to be an exempt payee if you are no longer an exempt payee and anticipate receiving reportable payments in the future from this person. For example, you may need to provide updated information if you are a C corporation that elects to be an S corporation, or if you are no longer tax exempt. In addition, you must furnish a new Form W-9 if the name or TIN changes for the account, for example, if the grantor of a grantor trust dies.

Penalties

Failure to furnish TIN. If you fail to furnish your correct TIN to a requester, you are subject to a penalty of \$50 for each such failure unless your failure is due to reasonable cause and not to willful neglect.

Civil penalty for false information with respect to withholding. If you make a false statement with no reasonable basis that results in no backup withholding, you are subject to a \$500 penalty.

Criminal penalty for falsifying information. Willfully falsifying certifications or affirmations may subject you to criminal penalties including fines and/or imprisonment.

Misuse of TINs. If the requester discloses or uses TINs in violation of federal law, the requester may be subject to civil and criminal penalties.

Specific Instructions

Line 1

You must enter one of the following on this line; **do not** leave this line blank. The name should match the name on your tax return.

If this Form W-9 is for a joint account (other than an account maintained by a foreign financial institution (FFI)), list first, and then circle, the name of the person or entity whose number you entered in Part I of Form W-9. If you are providing Form W-9 to an FFI to document a joint account, each holder of the account that is a U.S. person must provide a Form W-9.

- **Individual.** Generally, enter the name shown on your tax return. If you have changed your last name without informing the Social Security Administration (SSA) of the name change, enter your first name, the last name as shown on your social security card, and your new last name.

Note for ITIN applicant: Enter your individual name as it was entered on your Form W-7 application, line 1a. This should also be the same as the name you entered on the Form 1040 you filed with your application.

- **Sole proprietor.** Enter your individual name as shown on your Form 1040 on line 1. Enter your business, trade, or "doing business as" (DBA) name on line 2.

- **Partnership, C corporation, S corporation, or LLC, other than a disregarded entity.** Enter the entity's name as shown on the entity's tax return on line 1 and any business, trade, or DBA name on line 2.

- **Other entities.** Enter your name as shown on required U.S. federal tax documents on line 1. This name should match the name shown on the charter or other legal document creating the entity. Enter any business, trade, or DBA name on line 2.

- **Disregarded entity.** In general, a business entity that has a single owner, including an LLC, and is not a corporation, is disregarded as an entity separate from its owner (a disregarded entity). See Regulations section 301.7701-2(c)(2). A disregarded entity should check the appropriate box for the tax classification of its owner. Enter the owner's name on line 1. The name of the owner entered on line 1 should never be a disregarded entity. The name on line 1 should be the name shown on the income tax return on which the income should be reported. For

example, if a foreign LLC that is treated as a disregarded entity for U.S. federal tax purposes has a single owner that is a U.S. person, the U.S. owner's name is required to be provided on line 1. If the direct owner of the entity is also a disregarded entity, enter the first owner that is not disregarded for federal tax purposes. Enter the disregarded entity's name on line 2. If the owner of the disregarded entity is a foreign person, the owner must complete an appropriate Form W-8 instead of a Form W-9. This is the case even if the foreign person has a U.S. TIN.

Line 2

If you have a business name, trade name, DBA name, or disregarded entity name, enter it on line 2.

Line 3a

Check the appropriate box on line 3a for the U.S. federal tax classification of the person whose name is entered on line 1. Check only one box on line 3a.

IF the entity/individual on line 1 is a(n) . . .	THEN check the box for . . .
• Corporation	Corporation.
• Individual or • Sole proprietorship	Individual/sole proprietor.
• LLC classified as a partnership for U.S. federal tax purposes or • LLC that has filed Form 8832 or 2553 electing to be taxed as a corporation	Limited liability company and enter the appropriate tax classification: P = Partnership, C = C corporation, or S = S corporation.
• Partnership	Partnership.
• Trust/estate	Trust/estate.

Line 3b

Check this box if you are a partnership (including an LLC classified as a partnership for U.S. federal tax purposes), trust, or estate that has any foreign partners, owners, or beneficiaries, and you are providing this form to a partnership, trust, or estate, in which you have an ownership interest. You must check the box on line 3b if you receive a Form W-8 (or documentary evidence) from any partner, owner, or beneficiary establishing foreign status or if you receive a Form W-9 from any partner, owner, or beneficiary that has checked the box on line 3b.

Note: A partnership that provides a Form W-9 and checks box 3b may be required to complete Schedules K-2 and K-3 (Form 1065). For more information, see the Partnership Instructions for Schedules K-2 and K-3 (Form 1065).

If you are required to complete line 3b but fail to do so, you may not receive the information necessary to file a correct information return with the IRS or furnish a correct payee statement to your partners or beneficiaries. See, for example, sections 6698, 6722, and 6724 for penalties that may apply.

Line 4 Exemptions

If you are exempt from backup withholding and/or FATCA reporting, enter in the appropriate space on line 4 any code(s) that may apply to you.

Exempt payee code.

- Generally, individuals (including sole proprietors) are not exempt from backup withholding.
- Except as provided below, corporations are exempt from backup withholding for certain payments, including interest and dividends.
- Corporations are not exempt from backup withholding for payments made in settlement of payment card or third-party network transactions.
- Corporations are not exempt from backup withholding with respect to attorneys' fees or gross proceeds paid to attorneys, and corporations that provide medical or health care services are not exempt with respect to payments reportable on Form 1099-MISC.

The following codes identify payees that are exempt from backup withholding. Enter the appropriate code in the space on line 4.

1—An organization exempt from tax under section 501(a), any IRA, or a custodial account under section 403(b)(7) if the account satisfies the requirements of section 401(f)(2).

- 2—The United States or any of its agencies or instrumentalities.
- 3—A state, the District of Columbia, a U.S. commonwealth or territory, or any of their political subdivisions or instrumentalities.
- 4—A foreign government or any of its political subdivisions, agencies, or instrumentalities.
- 5—A corporation.
- 6—A dealer in securities or commodities required to register in the United States, the District of Columbia, or a U.S. commonwealth or territory.
- 7—A futures commission merchant registered with the Commodity Futures Trading Commission.
- 8—A real estate investment trust.
- 9—An entity registered at all times during the tax year under the Investment Company Act of 1940.
- 10—A common trust fund operated by a bank under section 584(a).
- 11—A financial institution as defined under section 581.
- 12—A middleman known in the investment community as a nominee or custodian.
- 13—A trust exempt from tax under section 664 or described in section 4947.

The following chart shows types of payments that may be exempt from backup withholding. The chart applies to the exempt payees listed above, 1 through 13.

IF the payment is for . . .	THEN the payment is exempt for . . .
• Interest and dividend payments	All exempt payees except for 7.
• Broker transactions	Exempt payees 1 through 4 and 6 through 11 and all C corporations. S corporations must not enter an exempt payee code because they are exempt only for sales of noncovered securities acquired prior to 2012.
• Barter exchange transactions and patronage dividends	Exempt payees 1 through 4.
• Payments over \$600 required to be reported and direct sales over \$5,000 ¹	Generally, exempt payees 1 through 5. ²
• Payments made in settlement of payment card or third-party network transactions	Exempt payees 1 through 4.

¹ See Form 1099-MISC, Miscellaneous Information, and its instructions.

² However, the following payments made to a corporation and reportable on Form 1099-MISC are not exempt from backup withholding: medical and health care payments, attorneys' fees, gross proceeds paid to an attorney reportable under section 6045(f), and payments for services paid by a federal executive agency.

Exemption from FATCA reporting code. The following codes identify payees that are exempt from reporting under FATCA. These codes apply to persons submitting this form for accounts maintained outside of the United States by certain foreign financial institutions. Therefore, if you are only submitting this form for an account you hold in the United States, you may leave this field blank. Consult with the person requesting this form if you are uncertain if the financial institution is subject to these requirements. A requester may indicate that a code is not required by providing you with a Form W-9 with "Not Applicable" (or any similar indication) entered on the line for a FATCA exemption code.

A—An organization exempt from tax under section 501(a) or any individual retirement plan as defined in section 7701(a)(37).

B—The United States or any of its agencies or instrumentalities.

C—A state, the District of Columbia, a U.S. commonwealth or territory, or any of their political subdivisions or instrumentalities.

D—A corporation the stock of which is regularly traded on one or more established securities markets, as described in Regulations section 1.1472-1(c)(1)(i).

E—A corporation that is a member of the same expanded affiliated group as a corporation described in Regulations section 1.1472-1(c)(1)(i).

F—A dealer in securities, commodities, or derivative financial instruments (including notional principal contracts, futures, forwards, and options) that is registered as such under the laws of the United States or any state.

G—A real estate investment trust.

H—A regulated investment company as defined in section 851 or an entity registered at all times during the tax year under the Investment Company Act of 1940.

I—A common trust fund as defined in section 584(a).

J—A bank as defined in section 581.

K—A broker.

L—A trust exempt from tax under section 664 or described in section 4947(a)(1).

M—A tax-exempt trust under a section 403(b) plan or section 457(g) plan.

Note: You may wish to consult with the financial institution requesting this form to determine whether the FATCA code and/or exempt payee code should be completed.

Line 5

Enter your address (number, street, and apartment or suite number). This is where the requester of this Form W-9 will mail your information returns. If this address differs from the one the requester already has on file, enter "NEW" at the top. If a new address is provided, there is still a chance the old address will be used until the payor changes your address in their records.

Line 6

Enter your city, state, and ZIP code.

Part I. Taxpayer Identification Number (TIN)

Enter your TIN in the appropriate box. If you are a resident alien and you do not have, and are not eligible to get, an SSN, your TIN is your IRS ITIN. Enter it in the entry space for the Social security number. If you do not have an ITIN, see *How to get a TIN* below.

If you are a sole proprietor and you have an EIN, you may enter either your SSN or EIN.

If you are a single-member LLC that is disregarded as an entity separate from its owner, enter the owner's SSN (or EIN, if the owner has one). If the LLC is classified as a corporation or partnership, enter the entity's EIN.

Note: See *What Name and Number To Give the Requester*, later, for further clarification of name and TIN combinations.

How to get a TIN. If you do not have a TIN, apply for one immediately. To apply for an SSN, get Form SS-5, Application for a Social Security Card, from your local SSA office or get this form online at www.SSA.gov. You may also get this form by calling 800-772-1213. Use Form W-7, Application for IRS Individual Taxpayer Identification Number, to apply for an ITIN, or Form SS-4, Application for Employer Identification Number, to apply for an EIN. You can apply for an EIN online by accessing the IRS website at www.irs.gov/EIN. Go to www.irs.gov/Forms to view, download, or print Form W-7 and/or Form SS-4. Or, you can go to www.irs.gov/OrderForms to place an order and have Form W-7 and/or Form SS-4 mailed to you within 15 business days.

If you are asked to complete Form W-9 but do not have a TIN, apply for a TIN and enter "Applied For" in the space for the TIN, sign and date the form, and give it to the requester. For interest and dividend payments, and certain payments made with respect to readily tradable instruments, you will generally have 60 days to get a TIN and give it to the requester before you are subject to backup withholding on payments. The 60-day rule does not apply to other types of payments. You will be subject to backup withholding on all such payments until you provide your TIN to the requester.

Note: Entering "Applied For" means that you have already applied for a TIN or that you intend to apply for one soon. See also *Establishing U.S. status for purposes of chapter 3 and chapter 4 withholding*, earlier, for when you may instead be subject to withholding under chapter 3 or 4 of the Code.

Caution: A disregarded U.S. entity that has a foreign owner must use the appropriate Form W-8.

Part II. Certification

To establish to the withholding agent that you are a U.S. person, or resident alien, sign Form W-9. You may be requested to sign by the withholding agent even if item 1, 4, or 5 below indicates otherwise.

For a joint account, only the person whose TIN is shown in Part I should sign (when required). In the case of a disregarded entity, the person identified on line 1 must sign. Exempt payees, see *Exempt payee code*, earlier.

Signature requirements. Complete the certification as indicated in items 1 through 5 below.

1. Interest, dividend, and barter exchange accounts opened before 1984 and broker accounts considered active during 1983. You must give your correct TIN, but you do not have to sign the certification.

2. Interest, dividend, broker, and barter exchange accounts opened after 1983 and broker accounts considered inactive during 1983. You must sign the certification or backup withholding will apply. If you are subject to backup withholding and you are merely providing your correct TIN to the requester, you must cross out item 2 in the certification before signing the form.

3. Real estate transactions. You must sign the certification. You may cross out item 2 of the certification.

4. Other payments. You must give your correct TIN, but you do not have to sign the certification unless you have been notified that you have previously given an incorrect TIN. "Other payments" include payments made in the course of the requester's trade or business for rents, royalties, goods (other than bills for merchandise), medical and health care services (including payments to corporations), payments to a nonemployee for services, payments made in settlement of payment card and third-party network transactions, payments to certain fishing boat crew members and fishermen, and gross proceeds paid to attorneys (including payments to corporations).

5. Mortgage interest paid by you, acquisition or abandonment of secured property, cancellation of debt, qualified tuition program payments (under section 529), ABLE accounts (under section 529A), IRA, Coverdell ESA, Archer MSA or HSA contributions or distributions, and pension distributions. You must give your correct TIN, but you do not have to sign the certification.

What Name and Number To Give the Requester

For this type of account:	Give name and SSN of:
1. Individual	The individual
2. Two or more individuals (joint account) other than an account maintained by an FFI	The actual owner of the account or, if combined funds, the first individual on the account ¹
3. Two or more U.S. persons (joint account maintained by an FFI)	Each holder of the account
4. Custodial account of a minor (Uniform Gift to Minors Act)	The minor ²
5. a. The usual revocable savings trust (grantor is also trustee)	The grantor-trustee ³
b. So-called trust account that is not a legal or valid trust under state law	The actual owner ¹
6. Sole proprietorship or disregarded entity owned by an individual	The owner ³
7. Grantor trust filing under Optional Filing Method 1 (see Regulations section 1.671-4(b)(2)(i)(A))**	The grantor*

For this type of account:	Give name and EIN of:
8. Disregarded entity not owned by an individual	The owner
9. A valid trust, estate, or pension trust	Legal entity ⁴
10. Corporation or LLC electing corporate status on Form 8832 or Form 2553	The corporation
11. Association, club, religious, charitable, educational, or other tax-exempt organization	The organization
12. Partnership or multi-member LLC	The partnership
13. A broker or registered nominee	The broker or nominee
14. Account with the Department of Agriculture in the name of a public entity (such as a state or local government, school district, or prison) that receives agricultural program payments	The public entity
15. Grantor trust filing Form 1041 or under the Optional Filing Method 2, requiring Form 1099 (see Regulations section 1.671-4(b)(2)(i)(B))**	The trust

¹List first and circle the name of the person whose number you furnish. If only one person on a joint account has an SSN, that person's number must be furnished.

²Circle the minor's name and furnish the minor's SSN.

³You must show your individual name on line 1, and enter your business or DBA name, if any, on line 2. You may use either your SSN or EIN (if you have one), but the IRS encourages you to use your SSN.

⁴List first and circle the name of the trust, estate, or pension trust. (Do not furnish the TIN of the personal representative or trustee unless the legal entity itself is not designated in the account title.)

*Note: The grantor must also provide a Form W-9 to the trustee of the trust.

**For more information on optional filing methods for grantor trusts, see the Instructions for Form 1041.

Note: If no name is circled when more than one name is listed, the number will be considered to be that of the first name listed.

Secure Your Tax Records From Identity Theft

Identity theft occurs when someone uses your personal information, such as your name, SSN, or other identifying information, without your permission to commit fraud or other crimes. An identity thief may use your SSN to get a job or may file a tax return using your SSN to receive a refund.

To reduce your risk:

- Protect your SSN,
- Ensure your employer is protecting your SSN, and
- Be careful when choosing a tax return preparer.

If your tax records are affected by identity theft and you receive a notice from the IRS, respond right away to the name and phone number printed on the IRS notice or letter.

If your tax records are not currently affected by identity theft but you think you are at risk due to a lost or stolen purse or wallet, questionable credit card activity, or a questionable credit report, contact the IRS Identity Theft Hotline at 800-908-4490 or submit Form 14039.

For more information, see Pub. 5027, Identity Theft Information for Taxpayers.

Victims of identity theft who are experiencing economic harm or a systemic problem, or are seeking help in resolving tax problems that have not been resolved through normal channels, may be eligible for Taxpayer Advocate Service (TAS) assistance. You can reach TAS by calling the TAS toll-free case intake line at 877-777-4778 or TTY/TDD 800-829-4059.

Protect yourself from suspicious emails or phishing schemes.

Phishing is the creation and use of email and websites designed to mimic legitimate business emails and websites. The most common act is sending an email to a user falsely claiming to be an established legitimate enterprise in an attempt to scam the user into surrendering private information that will be used for identity theft.

The IRS does not initiate contacts with taxpayers via emails. Also, the IRS does not request personal detailed information through email or ask taxpayers for the PIN numbers, passwords, or similar secret access information for their credit card, bank, or other financial accounts.

If you receive an unsolicited email claiming to be from the IRS, forward this message to phishing@irs.gov. You may also report misuse of the IRS name, logo, or other IRS property to the Treasury Inspector General for Tax Administration (TIGTA) at 800-366-4484. You can forward suspicious emails to the Federal Trade Commission at spam@uce.gov or report them at www.ftc.gov/complaint. You can contact the FTC at www.ftc.gov/idtheft or 877-IDTHEFT (877-438-4338). If you have been the victim of identity theft, see www.IdentityTheft.gov and Pub. 5027.

Go to www.irs.gov/IdentityTheft to learn more about identity theft and how to reduce your risk.

Privacy Act Notice

Section 6109 of the Internal Revenue Code requires you to provide your correct TIN to persons (including federal agencies) who are required to file information returns with the IRS to report interest, dividends, or certain other income paid to you; mortgage interest you paid; the acquisition or abandonment of secured property; the cancellation of debt; or contributions you made to an IRA, Archer MSA, or HSA. The person collecting this form uses the information on the form to file information returns with the IRS, reporting the above information. Routine uses of this information include giving it to the Department of Justice for civil and criminal litigation and to cities, states, the District of Columbia, and U.S. commonwealths and territories for use in administering their laws. The information may also be disclosed to other countries under a treaty, to federal and state agencies to enforce civil and criminal laws, or to federal law enforcement and intelligence agencies to combat terrorism. You must provide your TIN whether or not you are required to file a tax return. Under section 3406, payors must generally withhold a percentage of taxable interest, dividends, and certain other payments to a payee who does not give a TIN to the payor. Certain penalties may also apply for providing false or fraudulent information.